

# APPEARANCE REVIEW APPLICATION

VILLAGE OF LIBERTYVILLE  
COMMUNITY DEVELOPMENT DEPARTMENT  
200 EAST COOK AVENUE  
LIBERTYVILLE, IL 60048  
(847) 918-2028  
(847) 367-5148 (Fax)

DATE: \_\_\_\_\_



### REQUESTED ACTION(S) (check all that apply)

<input checked="" type="checkbox"/> Building Facades	<input type="checkbox"/> Lighting
<input checked="" type="checkbox"/> Landscaping	<input type="checkbox"/> Signage
<input checked="" type="checkbox"/> Other	<u>Replace drive thru lanes with parking and landscaping.</u>

TO THE VILLAGE PRESIDENT, VILLAGE BOARD OF TRUSTEES AND THE APPEARANCE REVIEW COMMISSION OF THE VILLAGE OF LIBERTYVILLE, LAKE COUNTY, ILLINOIS 60048.

The applicant(s) Bob Dake represents that they are the OWNER , AUTHORIZED AGENT  (please check correct term) of the property commonly known as: (street address) 1366 S. Milwaukee Avenue.

If someone other than the applicant(s) has the title to the property, please provide a written statement from the owner(s) which acknowledges and consents to this request.

The property is now classified under the Libertyville Zoning Code and is located in the C-4 District.

By: \_\_\_\_\_

applicant/representative signature

Bob Dake, as Vice President of SUP II GP, LLC, a Delaware limited liability company, Manager of Sterling United Properties II Investments, LLC, a Delaware limited liability company, sole Member of SUP II RED TOP PLAZA, LLC, a Delaware limited liability company

302 Datura Street, Suite 100, West Palm Beach, FL 33401

address of applicant/representative

(561) 835-1810

phone number

bdake@sterlingorganization.com

e-mail



**NOTE!** If several parties are involved with the project (i.e., architect, engineer, consultant, etc.), please attach a list including the names, addresses and phone numbers of such parties. This application must be complete before it will be accepted by the Village. (see attached Exhibit A)

# LAND USE APPLICATION

VILLAGE OF LIBERTYVILLE  
COMMUNITY DEVELOPMENT DEPARTMENT  
200 EAST COOK AVENUE  
LIBERTYVILLE, IL 60048  
(847) 918-2028  
(847) 367-5148 (Fax)

DATE: \_\_\_\_\_



<u>REQUESTED ACTION(S) (check all that apply)</u>	
<input type="checkbox"/> Comp. Plan	<input type="checkbox"/> Preliminary/Final Plat
<input type="checkbox"/> Comp. Plan Amendment	<input type="checkbox"/> Plat of Consolidation
<input type="checkbox"/> Map Amendment	<input type="checkbox"/> Site Plan Permit
<input type="checkbox"/> Planned Dev. (Concept/Final)	<input type="checkbox"/> Special Use Permit
<input type="checkbox"/> Planned Dev. (Final Amendment)	<input type="checkbox"/> Text Amendment
<input type="checkbox"/> Planned Dev. (Adjustment)	<input type="checkbox"/> Variation
<input type="checkbox"/> Planned Dev. (Master Plan)	<input type="checkbox"/> Zoning Appeal
<input checked="" type="checkbox"/> Planned Dev. (Master Plan Amendment)	

TO THE VILLAGE PRESIDENT, VILLAGE BOARD OF TRUSTEES AND THE ZONING BOARD OF APPEALS OF THE VILLAGE OF LIBERTYVILLE, LAKE COUNTY, ILLINOIS 60048.

The applicant(s) \_\_\_\_\_ SUP II RED TOP PLAZA LLC \_\_\_\_\_ represents that they are the OWNER , CONTRACT PURCHASER \_\_\_\_\_, LESSEE \_\_\_\_\_, AUTHORIZED AGENT \_\_\_\_\_ (please check correct term) of the following described real estate: (Insert or attach legal description of the real estate)

Lot 3 in Red Top Plaza, being a Subdivision in the East 1/2 of Section 28, Township 44 North, Range 11 East of the Third Principal Meridian, according to the Plat thereof recorded July 16, 1984 as document number 2296364, in Lake County, Illinois.

PROPERTY TAX IDENTIFICATION NUMBER (P.I.N. #): 1128403005

The property is also known as: (street address) 1366 S. Milwaukee Avenue .

If someone other than the applicant(s) has the title to the property, include the name, address, trust number with beneficiaries (if applicable), and phone number of such owner(s). **A written, notarized statement from the owner(s) which acknowledges and consents to this request must be provided.**

**LAND USE APPLICATION  
PAGE 2**

The property is now classified under the Libertyville Zoning Code and is located in the  
                  C-4                   District.

FOR VARIATION ONLY: Please check the type of variation(s) requested: (not applicable)

<input type="checkbox"/> Front Yard Setback	<input type="checkbox"/> Sign
<input type="checkbox"/> Corner Side Yard Setback	<input type="checkbox"/> Fence
<input type="checkbox"/> Side Yard Setback	<input type="checkbox"/> Lot Coverage
<input type="checkbox"/> Rear Yard Setback	<input type="checkbox"/> Building Coverage
<input type="checkbox"/> Perimeter Landscaped Open Space	<input type="checkbox"/> Building Height
<input type="checkbox"/> Other (specify) _____	

Please attach a detailed narrative description of the requested development action(s). (see attached Exhibit B)



By: \_\_\_\_\_

**applicant/representative signature**

Bob Dake, as Vice President of SUP II GP, LLC, a Delaware limited liability company, Manager of Sterling United Properties II Investments, LLC, a Delaware limited liability company, sole Member of SUP II Red Top Plaza, LLC, a Delaware limited liability company

**please print full name**

\_\_\_\_\_  
302 Datura Street, Suite 100, West Palm Beach, Florida 33401

**address of applicant/representative**

\_\_\_\_\_  
(561) 835-18910

**phone number**

\_\_\_\_\_  
bdake@sterlingorganization.com

**e-mail**

**NOTE!** If several parties are involved with the project (i.e., architect, engineer, consultant, etc.), please attach a list including the names, addresses and phone numbers of such parties. This application must be complete before it will be accepted by the Village. (see attached Exhibit C)

1366 S. Milwaukee Ave.

List of Persons Involved in the Project

Applicant/Property Owner:

SUP II RED TOP PLAZA, LLC  
302 Datura Street  
Suite 100  
West Palm Beach, FL 33401  
Tel. 561-835-1810

Property Owner's Representative:

Sterling Organization  
302 Datura Street  
Suite 100  
West Palm Beach, FL 33401  
Attn: Kevin Cleary  
Tel. 224-770-7788  
Email: [kcleary@sterlingorganization.com](mailto:kcleary@sterlingorganization.com)

Project Architect:

NWS Architects, Inc.  
230 West Monroe Street  
Suite 1550  
Chicago, IL 60606  
Tel. 312-332-2062  
Attn: Michael Dooley  
Email: [mdooley@nwsarchitects.com](mailto:mdooley@nwsarchitects.com)



**VILLAGE OF LIBERTYVILLE  
REIMBURSEMENT OF FEES AGREEMENT**

Village of Libertyville Acct. No. \_\_\_\_\_

**I. OWNER**

- A. Owner of Property SUP II Red Top Plaza , LLC                      Date January \_\_\_\_, 2025
- B. Owner's Address: 302 Datura Street, Suite 100 West Palm Beach, FL 33401
- C. Owner's Phone Number (561) 835-1810

**II. PERSON MAKING REQUEST (PETITIONER)**

- A. Name of Petitioner Bob Dake, as Vice President of SUP II GP, LLC, a Delaware limited liability company, Manager of Sterling United Properties II Investments, LLC, a Delaware limited liability company, sole Member of SUP II RED TOP PLAZA, LLC
- B. Petitioner's Address 302 Datura Street, Suite 100 West Palm Beach, FL 33401
- C. Petitioner's Phone Number (561) 835-1810

**III. LOCATION OF PROPERTY**

- A. General Location of Property: Red Top Plaza
- B. Acreage of Parcel \_\_\_\_\_
- C. Legal Description: Lot 3 in Red Top Plaza, being a Subdivision in the East 1/2 of Section 28, Township 44 North, Range 11 East of the Third Principal Meridian, according to the Plat thereof recorded July 16, 1984 as document number 2296364, in Lake County, Illinois.

#### IV. REIMBURSEMENT OF FEES:

In the event that it is necessary for the Village to obtain professional services, including, but not limited to, attorneys, engineers, planners, architects, surveyors, traffic or drainage experts, or other consultants, or incur other extraordinary expenses (hereinafter collectively referred to as "Extraordinary Expenses") in connection with any Petitioner's request for annexation, zoning change, subdivision development, planned development, planned development master plan or special use or other improvement or development upon real property, then the Petitioner and Owner of the property shall be jointly and severally liable for the payment of such professional fees and extraordinary expenses plus ten percent (10%) to cover the Village's administrative costs in connection with such Extraordinary Expenses. Petitioner's responsibility for such expenses shall be in addition to any application fees required by the Village pursuant to Section 16-1-4 of the Zoning Code.

At the time the Petitioner files its application requesting action by the Village, the Village Administrator, or his designee, shall review the application to determine whether it is likely that the Village will incur Extraordinary Expenses in connection with the application. This determination shall be based upon a number of factors including but not limited to one or more of the following: 1) the complexity of the application and/or proposed development; 2) the unique nature of the proposed development; 3) the likely need for specialized planning, engineering, drainage or traffic expertise; 4) the likely need for the preparation and/or review of development agreements, easements, annexation agreements, subdivision agreements, or other legal documents; 5) the likely need for retention of court reporters to record and transcribe the proceedings in connection with the application; 6) the likely need to lease meeting facilities to accommodate public hearing and/or public meetings 7) the likely need to utilize the services of public safety personnel in connection with public hearings pertaining to the application. If at any time following the filing of the application, the Village Administrator or his designee determines that the Village is likely to incur Extraordinary Expenses in connection with application, the Petitioner shall be required to deposit the following amounts with the Village to guarantee payment by the Petitioner of such Extraordinary Expenses (hereinafter, the "Deposit"):

0 -5 Acres	\$7,500
6-10 Acres	\$9,500
11-15 Acres	\$11,500
16-20 Acres	\$13,500
21-25 Acres	\$15,500
25-30 Acres	\$17,500
30-35 Acres	\$19,500
Over 35 Acres	\$21,500

The Village may draw upon the Deposit required herein and pay any invoices for Extraordinary Expenses incurred by the Village from the funds held on deposit. The Village shall send Petitioner copies of all invoices in connection with Extraordinary Expenses. In the event that the amount of the Extraordinary Expenses exceed the amount of the Deposit (the "Excess Expenses") or if, following the Village's draw on the Deposit, the Deposit falls below 25% of the Deposit initially provided to the Village, the Village Administrator or his designee, shall forward a notice to the Petitioner requiring that the Excess Expenses be reimbursed to the Village and/or that the amount of the Deposit be increased to the initial amount of the Deposit, as described above (hereinafter referred to as the "Additional Deposit")

Upon the failure of the Owner to make the Deposit or the Additional Deposit in accordance with this agreement no action on any request made by the Owner or Petitioner will be undertaken by the Village Board of Trustees, or by any other official, quasi-official or deliberative individual or body thereunder; and such request shall remain in abeyance and the Village may deny any application for a grading, building or other permit until the Deposit and/or the Additional Deposit is paid to the Village. Upon any failure to reimburse the Village for any Extraordinary Expenses in accordance with this agreement, the Village may in its discretion, elect to place a lien against any real property associated with the Petitioner's request. Interest in the amount of one and one-half percent (1-1/2% with a minimum of \$5.00) per month shall accrue on all sums outstanding for thirty (30) days or more. Said lien shall be in an amount equal to the outstanding amount owed to the Village.

A Petitioner who withdraws an application as to which a deposit has been made may apply in writing to the Village for a refund of his Deposit and/or the Additional Deposit less any actual fees and costs which the Village has already incurred relative to the petition.

Any professional fees incurred as a direct or indirect result of the Petitioner, Owner or their agent requesting a professional opinion or otherwise requesting relief or assistance from the Village, whether or not related to real property, shall be reimbursed in accordance with this section if, in the discretion of the Village, a professional opinion is desired.

The remedies available to the Village as set forth hereinabove are non-exclusive and nothing herein shall be construed to limit or waive the Village's right to proceed against any or all parties in a court of law of competent jurisdiction.

BY SIGNING BELOW, THE PETITIONER AND OWNER ACKNOWLEDGE THAT EACH OF THEM HAS READ THE FOREGOING PARAGRAPHS AND EACH OF THEM FULLY UNDERSTAND AND AGREES TO COMPLY WITH THE TERMS SET FORTH HEREIN, FURTHER, BY SIGNING BELOW, EACH SIGNATORY WARRANTS THAT HE/SHE/IT POSSESSES FULL AUTHORITY TO SO SIGN.

THE OWNER AND PETITIONER AGREE THAT OWNER AND PETITIONER SHALL BE JOINTLY AND SEVERALLY LIABLE FOR PAYMENT OF FEES REFERRED TO IN APPLICABLE SECTIONS OF THE ORDINANCES OF THE VILLAGE OF LIBERTYVILLE, AND AS REFERRED TO HEREINABOVE.

**Petitioner**

Bob Dake, as Vice President of SUP II GP, LLC, a Delaware limited liability company, Manager of Sterling United Properties II Investments, LLC, a Delaware limited liability company, sole Member of SUP II Red Top Plaza, LLC, a Delaware limited liability company

Petitioner – print name (Title)

By: [Signature]



Petitioner – signature

Date: January 7, 2025

**Owner**

Bob Dake, as Vice President of SUP II GP, LLC, a Delaware limited liability company, Manager of Sterling United Properties II Investments, LLC, a Delaware limited liability company, sole Member of SUP II Red Top Plaza, LLC, a Delaware limited liability company

Owner - print name

By: [Signature]



Owner – signature

Date: January 7, 2025

**Village of Libertyville**

By: \_\_\_\_\_  
Village Administrator – print name

By: \_\_\_\_\_  
Village Administrator – signature

Date: \_\_\_\_\_

**VILLAGE OF LIBERTYVILLE  
PROPERTY OWNER'S AUTHORIZATION  
FOR PC/ZBA/ARC/HPC**

DATE: January 7, 2025

I, Bob Dake, as Vice President of SUP II GP, LLC, a Delaware limited liability company, Manager of Sterling United Properties II Investments, LLC, a Delaware limited liability company, sole Member of SUP II RED TOP PLAZA, LLC, a Delaware limited liability company Owner of the

property located at 1366 S. Milwaukee Avenue, do hereby  
Address/Location

authorize NWS Architects, Inc. to represent me in the following  
Authorized Agent

PC/ZBA/ARC/HPC matter(s),

Land Use Application; Appearance Review Application, Village Board Hearing  
Action(s)

in the Village of Libertyville.

Melissa L. Kajeejit  
Notary Signature

(SEAL)



Bob Dake

Property Owner Signature  
Bob Dake, as Vice President of SUP II GP, LLC, a Delaware limited liability company, Manager of Sterling United Properties II Investments, LLC, a Delaware limited liability company, sole Member of SUP II RED TOP PLAZA, LLC, a Delaware limited liability company

Property Owner Printed Name

302 Datura Street, West Palm Beach, Florida 33401  
Address

(561) 835-1810  
Phone Number

1366 S. Milwaukee Ave.

List of Persons Involved in the Project

Applicant/Property Owner:

SUP II RED TOP PLAZA, LLC  
302 Datura Street  
Suite 100  
West Palm Beach, FL 33401  
Tel. 561-835-1810

Property Owner's Representative:

Sterling Organization  
302 Datura Street  
Suite 100  
West Palm Beach, FL 33401  
Attn: Kevin Cleary  
Tel. 224-770-7788  
Email: [kcleary@sterlingorganization.com](mailto:kcleary@sterlingorganization.com)

Project Architect:

NWS Architects, Inc.  
230 West Monroe Street  
Suite 1550  
Chicago, IL 60606  
Tel. 312-332-2062  
Attn: Michael Dooley  
Email: [mdooley@nwsarchitects.com](mailto:mdooley@nwsarchitects.com)

1366 S. Milwaukee Ave.

#### Narrative Description of Requested Development Actions

The Applicant respectfully requests approval for an Amendment to the Planned Development known as Red Top Plaza. The proposed Amendment includes modifications to the existing building at 1366 S. Milwaukee Avenue and related site modifications, as follows:

- Proposed building modifications include the removal of two (2) of the three (3) existing drive thru lanes and canopies.
- Proposed site modifications include repairing, paving, striping and landscaping the areas where the two (2) existing drive thru lanes have been removed.

The proposed modifications described above are as shown on the plans and exhibits that accompany this Application.

This request for Amendment to the Planned Development is necessitated by the terms of the lease agreement between the property owner and its tenant, AFC Urgent Care and is an approved use under current zoning regulations.

1366 S. Milwaukee Ave.

#### Narrative Description of Parking Requirements

1. Under current C-4 zoning, the parking requirements for the allowed Medical Use are:

*“1 (space) for each 200 square feet of floor area for the first 5,000 square feet plus 1 (space) for each additional 250 square feet of floor area, over 5,000 square feet of floor area.”*

The floor area of the building is currently 4,000 square feet. The proposed modifications to the building (removal of 2 existing drive thru canopies) will not change that floor area. The required parking therefore is calculated as follows:

4,000 sf divided by 200 = 20 spaces required.

There are currently a total of forty-seven (47) parking spaces on this parcel, including three (3) h'cap spaces. We will add a total of ten (10) spaces, bringing the total number of provided parking spaces to fifty-seven (57).

2. According to the tenant, AFC Urgent Care, the number of employees and patients is expected to be:

Employees: a maximum of 10 employees at peak times.

Patients: a maximum of 8-10 patients at peak times.

Peak hours are expected to be between 11 am to 1 pm, and 5 pm to 7 pm daily.

The projections above are based on currently-operating AFC Urgent Care facilities in Naperville, Morton Grove and Willowbrook.

1366 S. Milwaukee Ave.

1. Narrative Description of Requested Development Actions

The Applicant respectfully requests approval for an Amendment to the Planned Development known as Red Top Plaza. The proposed Amendment includes modifications to the existing building at 1366 S. Milwaukee Avenue and related site modifications, as follows:

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The proposed modifications described above are as shown on the plans and exhibits that accompany this Application.

This request for Amendment to the Planned Development is necessitated by the terms of the lease agreement between the property owner and its tenant, AFC Urgent Care and is an approved use under current zoning regulations.

2. Statement of Conformity of this Request for Amendment to the Planned Development:

Please be advised that the proposed changes to the Red Top Plaza Shopping Center Planned Development are in substantial conformity to the prior approved Planned Development Final Plan, as follows:

- (1) It does not increase the number of dwelling units or the floor area of the development; and
- (2) It does not change the floor area devoted to any particular use by more than two (2) percent; and
- (3) It does not increase the building coverage or lot coverage by more than two (2) percent; and
- (4) It does not change the orientation of any building by more than ten (10) degrees; and
- (5) It does not decrease open space by more than two (2) percent; and
- (6) It does not change the general location of any open space in any manner to detract from its intended function; and
- (7) It does not change the general location and arrangement of land uses within the development; and

- (8) It does not change the street classification of any right-of-way or otherwise change or relocate rights-of-way in any manner or to any extent that would decrease their functionality, adversely affect their relation to surrounding land use and rights-of-way elements or reduce their effectiveness as buffers or amenities; and
- (9) It does not alter the percentage of any land use in any stage of the development by more than ten (10) percentage points; and
- (10) It does not delay any stage of the previously approved development schedule by more than twelve (12) months; and
- (11) To the best of our knowledge and belief it does not violate any applicable law or ordinance; and
- (12) To the best of our knowledge and belief it does not depart from the previously approved plan in any other manner determined by the reviewing body or official, based on stated findings and conclusions, to be a material deviation from the previously approved plan.



Red Top Plaza

MENARDS

S. MILWAUKEE AVE.

# AERIAL PHOTO SITE LOCATION



SCALE: N.T.S.



**NWS ARCHITECTS, INC.**  
architecture + interiors + design  
230 WEST MONROE STREET  
SUITE 1550 CHICAGO ILLINOIS 60606  
T 312 332 2062 | F 312 332 9894  
www.nwsarchitects.com

RED TOP PLAZA SPACE #1366  
1366 S MILWAUKEE AVENUE,  
LIBERTYVILLE, ILLINOIS 60048

# IMG5

01.09.2025  
JOB NO. 24-0077



RED TOP PLAZA  
1300-1440 S. MILWAUKEE AVE  
LIBERTYVILLE, IL

AERIAL PHOTO  
RED TOP PLAZA

IMG6

SCALE: N.T.S.

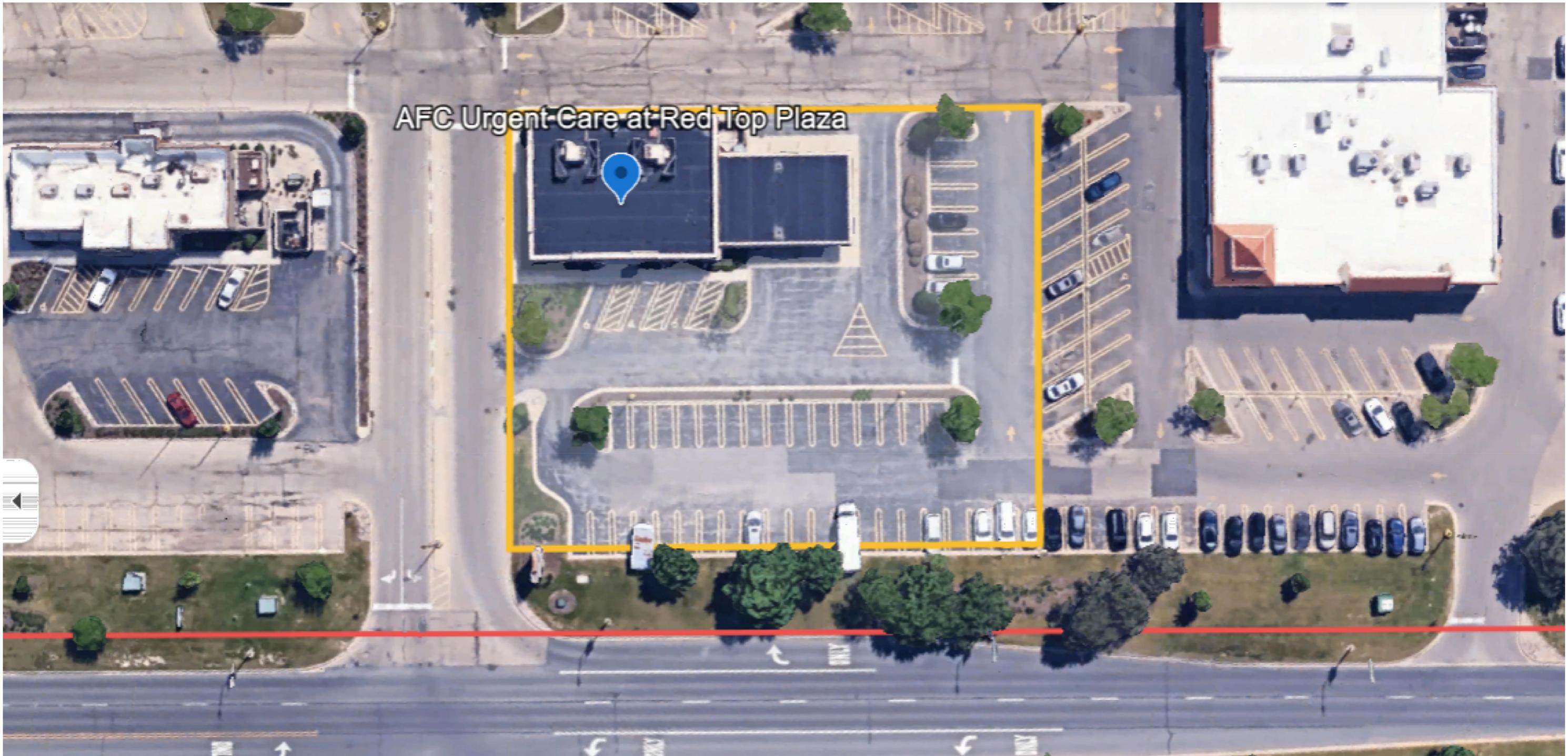


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RED TOP PLAZA SPACE #1366  
1366 S MILWAUKEE AVENUE,  
LIBERTYVILLE, ILLINOIS 60048

**IMG6**

01.09.2025  
JOB NO. 24-0077



AFC Urgent-Care at Red Top Plaza

AERIAL PHOTO  
EXISTING SITE PLAN

IMG7

SCALE: N.T.S.

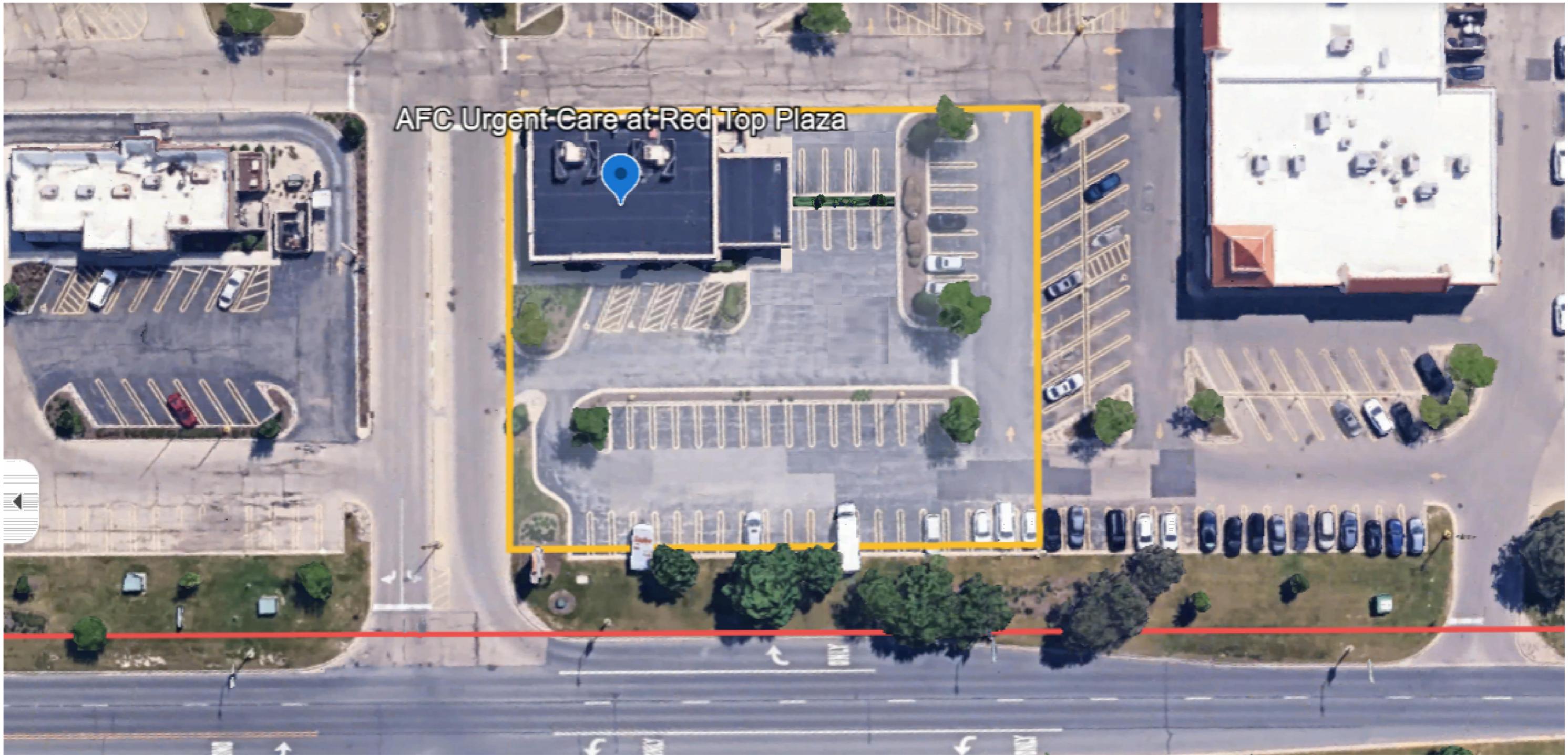


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RED TOP PLAZA SPACE #1366  
1366 S MILWAUKEE AVENUE,  
LIBERTYVILLE, ILLINOIS 60048

IMG7

01.09.2025  
JOB NO. 24-0077



AFC Urgent-Care at Red Top Plaza

**AERIAL PHOTO  
PROPOSED SITE PLAN**



SCALE: N.T.S.



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architecture + interiors + design  
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**RED TOP PLAZA SPACE #1366**  
1366 S MILWAUKEE AVENUE,  
LIBERTYVILLE, ILLINOIS 60048

**IMG8**

01.09.2025  
JOB NO. 24-0077



EXISTING  
EXTERIOR ELEVATION



SCALE: N.T.S.



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RED TOP PLAZA SPACE #1366  
1366 S MILWAUKEE AVENUE,  
LIBERTYVILLE, ILLINOIS 60048

**IMG1**

01.09.2025  
JOB NO. 24-0077



EXISTING  
EXTERIOR ELEVATION

IMG2

SCALE: N.T.S.



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architecture + interiors + design

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RED TOP PLAZA SPACE #1366  
1366 S MILWAUKEE AVENUE,  
LIBERTYVILLE, ILLINOIS 60048

IMG2

01.09.2025  
JOB NO. 24-0077



MODIFIED  
EXTERIOR ELEVATION



SCALE: N.T.S.



**NWS ARCHITECTS, INC.**  
architecture + interiors + design  
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LIBERTYVILLE, ILLINOIS 60048

**IMG3**

01.09.2025  
JOB NO. 24-0077



MODIFIED FRONT  
EXTERIOR ELEVATION



SCALE: N.T.S.



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RED TOP PLAZA SPACE #1366  
1366 S MILWAUKEE AVENUE,  
LIBERTYVILLE, ILLINOIS 60048

**IMG4**

01.09.2025  
JOB NO. 24-0077





LANDLORD/ OWNER:

**STERLING ORGANIZATION**

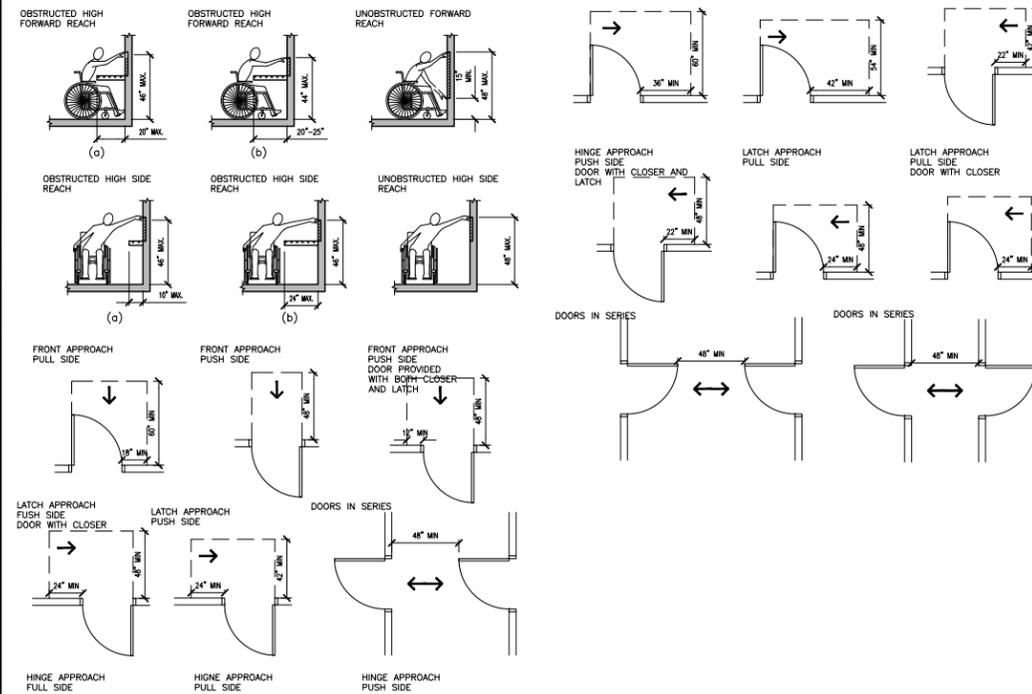
302 DATURA STREET, SUITE 100  
WEST PALM BEACH, FLORIDA 33401  
C: 224.770.7788

LANDLORD WORK

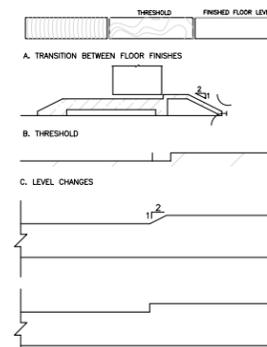
**RED TOP PLAZA  
SPACE#1366**

1366 S MILWAUKEE AVENUE  
LIBERTYVILLE, ILLINOIS 60048

ADA ACCESSIBLE DETAILS/ ACCESSIBLE ROUTES AT DOORS

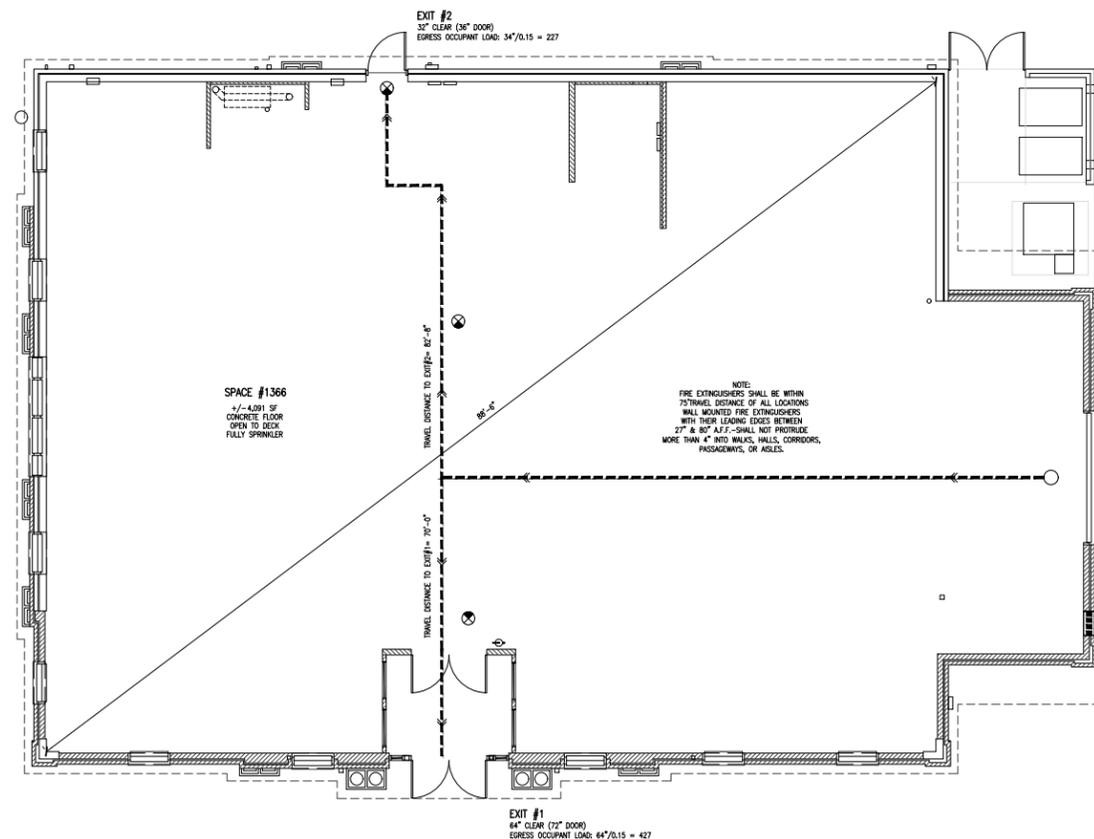
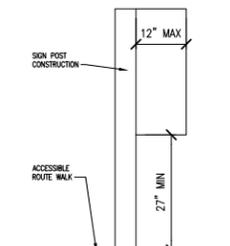


ADA CHANGES IN LEVEL

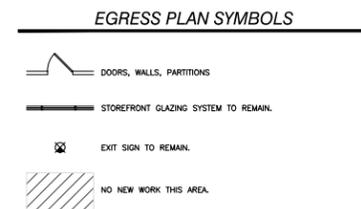


- NOTES:  
1. 1/2" MAXIMUM TOTAL HEIGHT WITH 1/4" MAXIMUM VERTICAL CHANGE AT EDGE.  
2. 1 : 2 SLOPED BEVEL REQUIRED IF LEVEL CHANGE IS OVER 1/4" VERTICAL LEVEL CHANGE.  
3. 1/4" MAXIMUM VERTICAL LEVEL CHANGE.

ADA PROTRUDING HAZARDS



EGRESS PLAN  
SCALE: 3/16" = 1'-0"

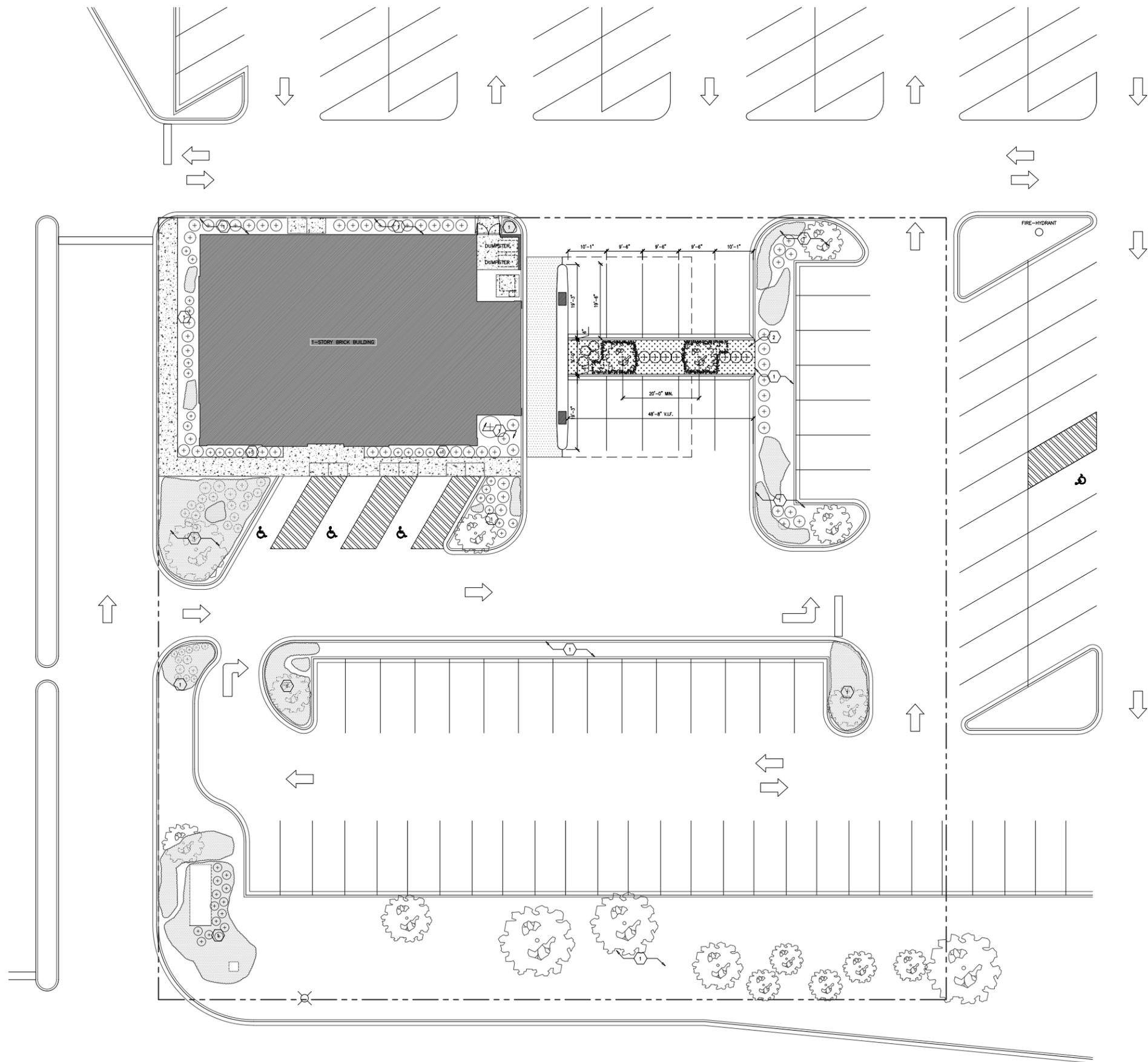


NO.	DESCRIPTION	DATE
2	PERMIT CORRECTIONS	1/09/2025
1	ISSUED FOR PERMIT	10/23/2024



EGRESS AND ACCESSIBILITY

G1.1



**GENERAL NOTES**

1. ACCESSIBLE PARKING STALLS SHALL BE 16 FEET WIDE WHICH INCLUDES EITHER 5 FOOT OR 8 FOOT WIDE AISLE. THE ACCESSIBLE PARKING AISLE STRIPS SHALL BE PAINTED YELLOW. (2018 IAC 502.2 & 502.3.3)
2. ACCESSIBLE PARKING SIGNS SHALL BE LOCATED NO MORE THAN 6 FEET FROM THE FRONT OF THE PARKING STALL AND A MINIMUM OF 5 FEET TO A MAXIMUM OF 9 FEET FROM FINISHED GRADE TO BOTTOM OF R7-B SIGN. SIGNS SHALL BE AN R7-B TYPE WITH A \$250 FINE SIGN BELOW. SIGNS SHALL BE CENTERED ON THE PARKING STALL. (2018 IAC 502.4)
3. THE ACCESSIBLE AISLE AND PARKING STALL SHALL HAVE A MINIMUM 1:48 (2%) SURFACE SLOPE. (2018 IAC 502.4)
4. PER STATE OF ILLINOIS LAW, BEFORE DIGGING, CALL JULIE (811 OR 1-800-892-0123) FOR LOCATION OF PUBLIC AND PRIVATE UTILITIES AT WORK SITE. 48 HOURS NOTICE IS REQUIRED.
5. THE CONTRACTOR IS RESPONSIBLE FOR THE PROPER TRAFFIC CONTROL AND SAFE PROTECTION OF THE WORK SITE AT ALL TIMES. CONSTRUCTION STAGING OR STORAGE IN ANY PUBLIC RIGHT-OF-WAY IS PROHIBITED.
6. ALL WORK SHALL COMPLY WITH THE APPROVED DRAWINGS AND DOCUMENTS. FINISHED WORK SHALL MAINTAIN THE EXISTING GROUND ELEVATIONS AND DRAINAGE PATTERNS; ANY EXCESS SPOILS OR MATERIALS SHALL BE REMOVED FROM THE SITE.
7. NO WORK WITHIN THE PUBLIC RIGHT-OF-WAY (ROW) IS AUTHORIZED UNDER THIS PERMIT. THE CONTRACTOR SHALL OBTAIN FURTHER AUTHORIZATION PRIOR TO BEGINNING ANY WORK THAT IS NOT INDICATED ON THE APPROVED DOCUMENTS.
8. DOWNSPOUTS - NO DOWNSPOUT EXTENSIONS ARE PROPOSED OR AUTHORIZED. ALL ROOF DOWNSPOUTS SHALL DISCHARGE ON GRADE IN THE FRONT, REAR, OR CORNER SIDE YARD DIRECTION AS DEFINED BY THE LIBERTYVILLE ZONING CODE WITH A MAXIMUM EXTENSION OF 5' FROM THE STRUCTURE AND NO CLOSER THAN 5' FROM ANY PROPERTY LINE. ANY MODIFICATIONS SHALL BE APPROVED BY THE VILLAGE ENGINEER. (LDC 20-3-108)
9. SOIL EROSION AND SEDIMENT CONTROL (SE/SC) - THE APPLICANT / CONTRACTOR SHALL PROVIDE ANY APPROPRIATE SE/SC MEASURES AS NECESSARY DURING THE WORK (E.G. INLET PROTECTION) AND SHALL PROMPTLY ADDRESS ANY SE/SC ISSUES. ANY AREA(S) OF DISTURBANCE SHALL BE RESTORED AND PERMANENTLY STABILIZED (E.G. SEED GROWTH OR SOIL).
10. NO ADDITION OF IMPERVIOUS SURFACE AREA ON THE PROPERTY IS AUTHORIZED BY THIS PERMIT. BASED ON THE PROPOSED PLAN, THE PROJECT WILL NOT CHANGE THE IMPERVIOUS SURFACE AREA TOTAL ON THIS PROPERTY. THEREFORE, STORMWATER DETENTION IS NOT REQUIRED IN ACCORDANCE WITH THE VILLAGE'S APPLICABLE STORMWATER MANAGEMENT REGULATIONS. COMPLETE APPENDIX P INFORMATION IS AVAILABLE ON THE VILLAGE WEBSITE.
11. ENGINEERING DIVISION INSPECTION REGULATIONS: CONTRACTOR SHALL CALL (847) 918-2020 OR (847) 918-2100, 24 HOURS IN ADVANCE OF WORK TO ARRANGE THE REQUIRED ENGINEERING DIVISION INSPECTIONS. A FINAL INSPECTION IS REQUIRED.
12. PROVIDE A TEMPORARY SURFACE IRRIGATION SYSTEM AND REMOVE ONE YEAR AFTER INSTALLATION OR AS SOON AS PLANTS ARE FULLY ESTABLISHED.
13. ALL LANDSCAPING TO MEET VILLAGE OF LIBERTYVILLE CODE OR ORDINANCES AND TENANT'S REQUIREMENTS.
14. TRASH ENCLOSURE TO MEET VILLAGE OF LIBERTYVILLE CODE OF ORDINANCES.
15. ARCHITECTURAL SITE PLAN IS PROVIDED FOR REFERENCE ONLY.

**ARCHITECTURAL SITE PLAN KEY NOTES**

1. EXISTING CONCRETE CURB.
2. EXISTING CONCRETE SIDEWALK.
3. EXISTING ASPHALT PAVEMENT.
4. EXISTING LANDSCAPING AREA.
5. EXISTING YELLOW PAINT STRIPING.
6. EXISTING ACCESSIBLE RAMP.
7. EXISTING ACCESSIBLE PARKING SIGNAGE.
8. EXISTING CONCRETE SLAB.
9. EXISTING TRASH ENCLOSURE.
10. EXISTING MONUMENTAL SIGN.
11. PROPOSED CONCRETE CURB, CURB CONSTRUCTION TO MATCH EXISTING.
12. PROPOSED LANDSCAPING AREA AS REQUIRED BY LOCAL ZONING CODE, PROPOSED LANDSCAPE AREA TO BE MORE THAN 10% OF THE PROPOSED PARKING AREA.
13. PROPOSED ASPHALT PAVEMENT DUE TO CONCRETE SLAB AND DRIVE-THROUGH CURBS REMOVAL. ASPHALT PAVEMENT TO MATCH EXISTING.
14. PROPOSED SHADE TREE: TREE TO HAVE A MINIMUM TRUNK SIZE OF 3 INCH IN DIAMETER AND PLANT NO CLOSER THAN 20 FEET FROM ANY OTHER SHADE TREE.
15. PROPOSED YELLOW PAINT STRIPING, STRIPING TO MATCH EXISTING STYLE.
16. EXISTING CONCRETE PAD TO REMAIN.
17. EXISTING ACCESSIBLE PARKING SPACE AND AISLE TO REMAIN.

**PARKING & LANDSCAPING REQUIREMENTS**

TOTAL PARKING SPACES: 57 SPACES  
 NEW PARKING SPACES: 10 SPACES  
 EXISTING PARKING SPACES: 47 SPACES

FOR 51 TO 75 PARKING SPACES:  
 REQUIRED ACCESSIBLE PARKING SPACES: 3 SPACES  
 PROVIDED ACCESSIBLE PARKING SPACES: 3 SPACES

TOTAL NEW PARKING AREA: 1,898 SF

PARKING LOT INTERIOR LANDSCAPING REQUIREMENTS:  
 1) INTERIOR LANDSCAPING SHALL CONSTITUTE AT LEAST 10% OF THE NEW AREA OF THE PARKING LOT = 1,898 SF X 10% = 190 SF.  
 2) INTERIOR LANDSCAPING SHALL CONSIST OF TREE PLANTING ISLANDS WITH A MINIMUM AREA OF 171 SF AND A MINIMUM WIDTH OF 9 FT, MEASURED FROM BACK OF CURB TO BACK OF CURB.  
 3) 1 SHADE TREE HAVING A MINIMUM TRUNK SIZE OF 3 INCHES IN DIAMETER SHALL BE INCLUDED FOR EVERY 171 SF OF TREE PLANTING ISLANDS. HOWEVER, AT NO TIME SHALL A SHADE TREE TO BE PLANTED CLOSER THAN 20 FT TO ANY OTHER SHADE TREE. THE REMAINING AREA OF SUCH ISLANDS SHALL CONSIST OF GROUNDCOVER OR DECORATIVE PAVING MATERIAL.

PROVIDE NEW INTERIOR LANDSCAPING AREA: 438 SF  
 PROVIDED NUMBER OF SHADE TREE: 2 TREES

**NWS ARCHITECTS, INC.**  
 architecture + interiors + design



230 WEST MONROE STREET SUITE 1550 CHICAGO ILLINOIS 60606  
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**STERLING ORGANIZATION**  
 302 DATURA STREET, SUITE 100  
 WEST PALM BEACH, FLORIDA 33401  
 C: 224.770.7788

LANDLORD WORK

**RED TOP PLAZA  
 SPACE#1366**

1366 S MILWAUKEE AVENUE  
 LIBERTYVILLE, ILLINOIS 60048

NO.	DESCRIPTION	DATE
2	PERMIT CORRECTIONS	1/09/2025
1	ISSUED FOR PERMIT	10/23/2024



SHEET TITLE

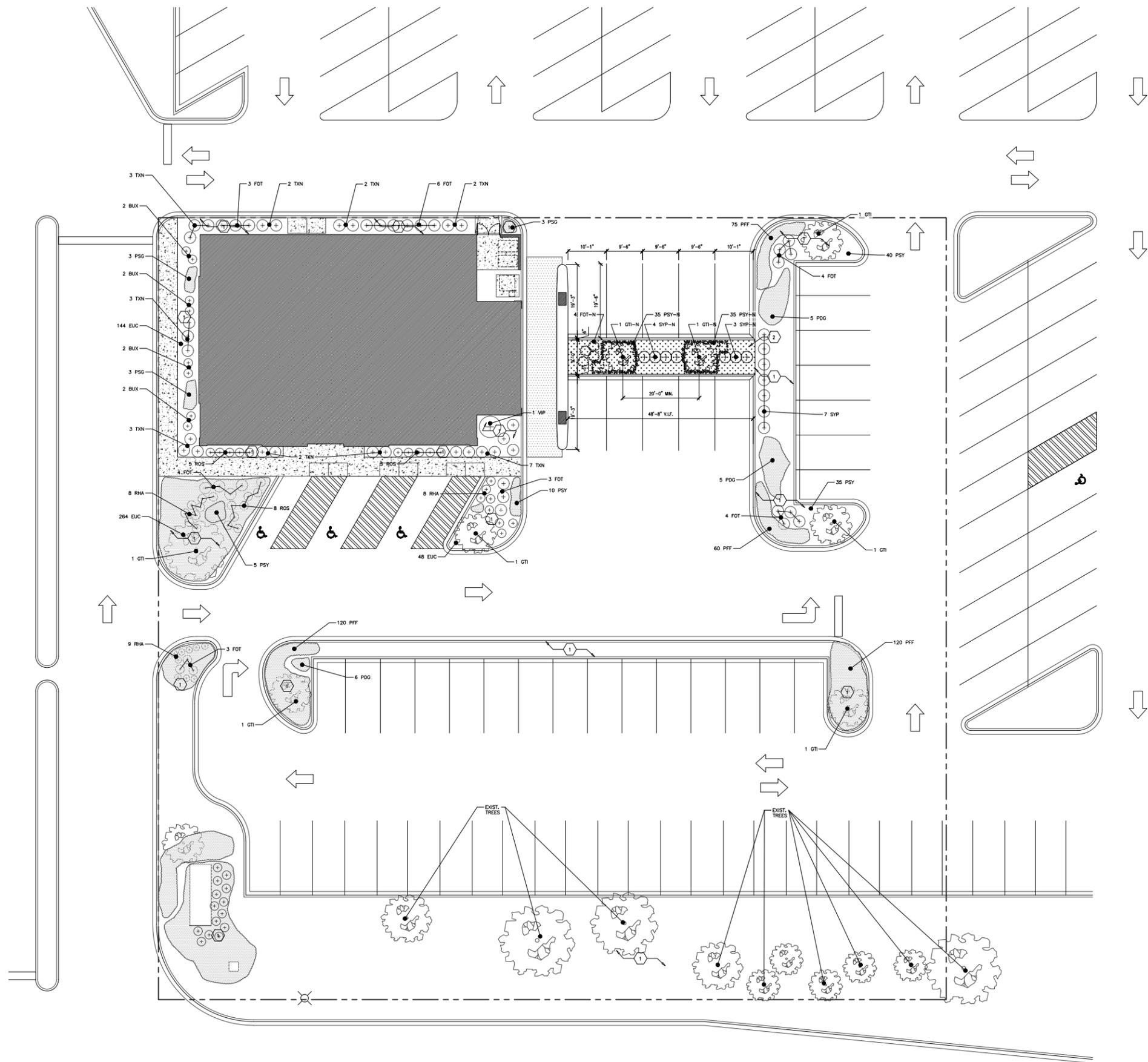
**ARCHITECTURAL  
 SITE PLAN**

SHEET NO.

**A0.1**

NWS JOB NO. 24-0077

NORTH **1 ARCHITECTURAL SITE PLAN**  
 A0.1 SCALE: 3/32" = 1'-0"



**GENERAL NOTES**

1. ACCESSIBLE PARKING STALLS SHALL BE 16 FEET WIDE WHICH INCLUDES EITHER 5 FOOT OR 8 FOOT WIDE AISLE. THE ACCESSIBLE PARKING AISLE STRIPS SHALL BE PAINTED YELLOW. (2018 IAC 502.2 & 502.3.3)
2. ACCESSIBLE PARKING SIGNS SHALL BE LOCATED NO MORE THAN 6 FEET FROM THE FRONT OF THE PARKING STALL AND A MINIMUM OF 5 FEET TO A MAXIMUM OF 9 FEET FROM FINISHED GRADE TO BOTTOM OF R7-8 SIGN. SIGNS SHALL BE AN R7-8 TYPE WITH A \$250 FINE SIGN BELOW. SIGNS SHALL BE CENTERED ON THE PARKING STALL. (2018 IAC 502.4)
3. THE ACCESSIBLE AISLE AND PARKING STALL SHALL HAVE A MINIMUM 1:48 (2%) SURFACE SLOPE. (2018 IAC 502.4)
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7. NO WORK WITHIN THE PUBLIC RIGHT-OF-WAY (ROW) IS AUTHORIZED UNDER THIS PERMIT. THE CONTRACTOR SHALL OBTAIN FURTHER AUTHORIZATION PRIOR TO BEGINNING ANY WORK THAT IS NOT INDICATED ON THE APPROVED DOCUMENTS.
8. DOWNSPOUTS - NO DOWNSPOUT EXTENSIONS ARE PROPOSED OR AUTHORIZED. ALL ROOF DOWNSPOUTS SHALL DISCHARGE ON GRADE IN THE FRONT, REAR, OR CORNER SIDE YARD DIRECTION AS DEFINED BY THE LIBERTYVILLE ZONING CODE WITH A MAXIMUM EXTENSION OF 5' FROM THE STRUCTURE AND NO CLOSER THAN 5' FROM ANY PROPERTY LINE. ANY MODIFICATIONS SHALL BE APPROVED BY THE VILLAGE ENGINEER. (LAC 20.5-108)
9. SOIL EROSION AND SEDIMENT CONTROL (SE/SC) - THE APPLICANT / CONTRACTOR SHALL PROVIDE ANY APPROPRIATE SE/SC MEASURES AS NECESSARY DURING THE WORK (E.G. INLET PROTECTION) AND SHALL PROMPTLY ADDRESS ANY SE/SC ISSUES. ANY AREAS OF DISTURBANCE SHALL BE RESTORED AND PERMANENTLY STABILIZED (E.G. SEED GROWTH OR SOIL).
10. NO ADDITION OF IMPERVIOUS SURFACE AREA ON THE PROPERTY IS AUTHORIZED BY THIS PERMIT. BASED ON THE PROPOSED PLANS, THE PROJECT WILL NOT CHANGE THE IMPERVIOUS SURFACE AREA TOTAL ON THIS PROPERTY. THEREFORE, STORMWATER DETENTION IS NOT REQUIRED IN ACCORDANCE WITH THE VILLAGE'S APPENDIX F STORMWATER MANAGEMENT REGULATIONS. COMPLETE APPENDIX F INFORMATION IS AVAILABLE ON THE VILLAGE WEBSITE.
11. ENGINEERING DIVISION INSPECTIONS REQUIRED - CONTRACTOR SHALL CALL (847) 918-2020 OR (847) 918-2100, 24 HOURS IN ADVANCE OF WORK TO ARRANGE THE REQUIRED ENGINEERING DIVISION INSPECTIONS. A FINAL INSPECTION IS REQUIRED.
12. PROVIDE A TEMPORARY SURFACE IRRIGATION SYSTEM AND REMOVE ONE YEAR AFTER INSTALLATION OR AS SOON AS PLANTS ARE FULLY ESTABLISHED.
13. ALL LANDSCAPING TO MEET VILLAGE OF LIBERTYVILLE CODE OR ORDINANCES AND TENANT'S REQUIREMENTS.
14. TRASH ENCLOSURE TO MEET VILLAGE OF LIBERTYVILLE CODE OF ORDINANCES.
15. ARCHITECTURAL SITE PLAN IS PROVIDED FOR REFERENCE ONLY.

**LANDSCAPE PLAN KEY NOTES**

1. EXISTING LANDSCAPING AREA.
2. PROPOSED LANDSCAPING AREA AS REQUIRED BY LOCAL ZONING CODE. PROPOSED LANDSCAPE AREA TO BE MORE THAN 10% OF THE PROPOSED PARKING AREA.
3. PROPOSED SHADE TREE: TREE TO HAVE A MINIMUM TRUNK SIZE OF 3 INCH IN DIAMETER AND PLANT NO CLOSER THAN 20 FEET FROM ANY OTHER SHADE TREE.

**PARKING & LANDSCAPING REQUIREMENTS**

TOTAL PARKING SPACES: 57 SPACES  
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 PROVIDED ACCESSIBLE PARKING SPACES: 3 SPACES

TOTAL NEW PARKING AREA: 1,898 SF

PARKING LOT INTERIOR LANDSCAPING REQUIREMENTS:  
 1) INTERIOR LANDSCAPING SHALL CONSTITUTE AT LEAST 10% OF THE NEW AREA OF THE PARKING LOT = 189.8 SF  
 2) INTERIOR LANDSCAPING SHALL CONSIST OF TREE PLANTING ISLANDS WITH A MINIMUM AREA OF 171 SF AND A MINIMUM WIDTH OF 9 FT, MEASURED FROM BACK OF CURB TO BACK OF CURB.  
 3) 1 SHADE TREE HAVING A MINIMUM TRUNK SIZE OF 3 INCHES IN DIAMETER SHALL BE INCLUDED FOR EVERY 171 SF OF TREE PLANTING ISLANDS. HOWEVER, AT NO TIME SHALL A SHADE TREE TO BE PLANTED CLOSER THAN 20 FT TO ANY OTHER SHADE TREE. THE REMAINING AREA OF SUCH ISLANDS SHALL CONSIST OF GROUNDCOVER OR DECORATIVE PAVING MATERIAL.

PROVIDE NEW INTERIOR LANDSCAPING AREA: 438 SF  
 PROVIDED NUMBER OF SHADE TREE: 2 TREES

**NEW PLANT LIST**

QTY	CODE	PLANT NAME	SIZE
2	GTI-N	GLEDITSIA TRIACANTHOS SKYLINE HONEYLOCUST	3.5" CAL
7	SYP-N	SYRINGA MEYER WHITE DWARF KOREAN LILAC	36"
4	FOT-N	FOTHERGILLA GARDENII DWARF FOTHERGILLA	24"
70	PSY-N	HEMEROCALLIS SPECIES STELLA DE ORA DAYLILY	1 GAL

**EXISTING PLANT LIST**

QTY	CODE	PLANT NAME	SIZE
6	GTI	GLEDITSIA TRIACANTHOS SKYLINE HONEYLOCUST	3.5" CAL
7	SYP	SYRINGA MEYER WHITE DWARF KOREAN LILAC	36"
90	PSY	HEMEROCALLIS SPECIES STELLA DE ORA DAYLILY	1 GAL
26	TAX	TAXUS MEDIA NIGRA YEW	24"
8	BUX	BUXUS KOREANA CHICAGO LAND BOXWOOD	18"
1	VIB	VIBURNUM PRINIFOLIUM BLACKHAM VIBURNUM	5"
18	ROS	ROSA SPECIES MEDLAND SHRUB ROSE	18-24"
27	FOT	FOTHERGILLA GARDENII DWARF FOTHERGILLA	24"
25	RHA	RHUS AROMATICA GROW LOW SUMAC	18-24"
456	EUC	EUCONNIUS COLORATUS WINTERPERSPER	3"
375	PFF	POLYODNUM RENDYTRIA DWARF FLEECE FLOWER	1 QT.
9	PSG	CAREX SPECIES GOLDEN SEDGE	1 GAL
16	PDG	PENNISETUM HAMELII DWARF FOUNTAIN GRASS	2 GAL

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CONSULTANTS

LANDLORD/ OWNER:

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 WEST PALM BEACH, FLORIDA 33401  
 C: 224.770.7788

LANDLORD WORK

**RED TOP PLAZA  
 SPACE#1366**

1366 S MILWAUKEE AVENUE  
 LIBERTYVILLE, ILLINOIS 60048

NO.	DESCRIPTION	DATE
2	PERMIT CORRECTIONS	1/09/2025
1	ISSUED FOR PERMIT	10/23/2024



SHEET TITLE

**LANDSCAPE PLAN**

SHEET NO.

**L0.1**

NWS JOB NO. 24-0077

NORTH  
 1 LANDSCAPE PLAN  
 (L0.1) SCALE: 3/32" = 1'-0"



CONSULTANTS

LANDLORD/OWNER:

STERLING ORGANIZATION

302 DATURA STREET, SUITE 100  
WEST PALM BEACH, FLORIDA 33401  
C: 224.770.7788

LANDLORD WORK

RED TOP PLAZA  
SPACE#1366

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LIBERTYVILLE, ILLINOIS 60048

2	PERMIT CORRECTIONS	1/09/2025
1	ISSUED FOR PERMIT	10/23/2024
NO.	DESCRIPTION	DATE



SHEET TITLE

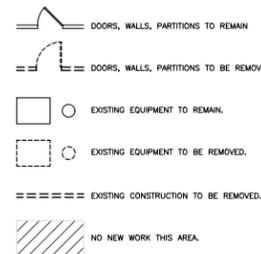
DEMOLITION FLOOR PLAN

SHEET NO.

AD1.1

NWS JOB NO. 24-0077

DEMOLITION PLAN SYMBOLS

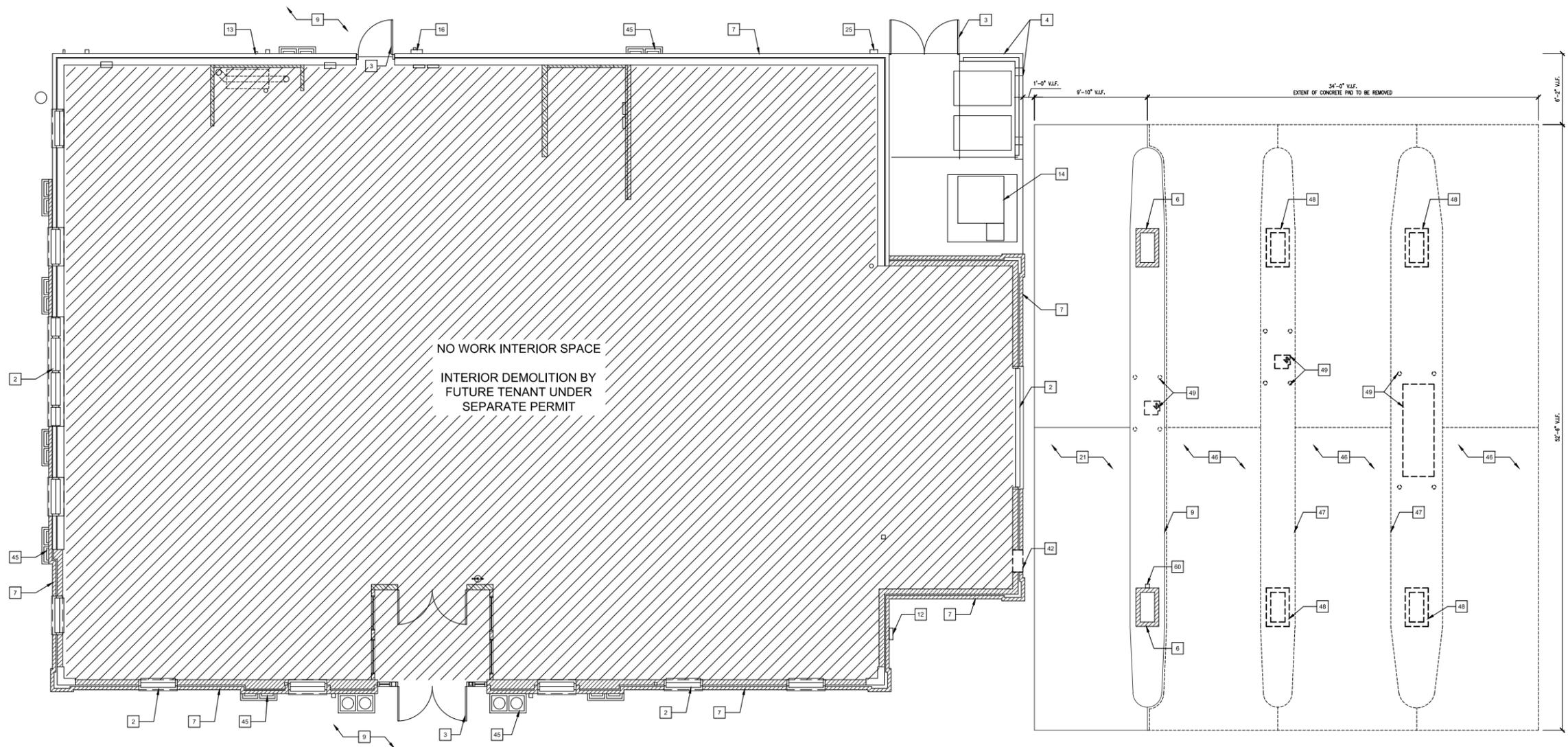


DEMOLITION KEYNOTES

- NOT USED.
- EXISTING WINDOW, FRAME AND HARDWARE TO REMAIN. PATCH AND REPAIR AS REQUIRED.
- EXISTING DOOR, FRAME AND HARDWARE TO REMAIN. PATCH AND REPAIR AS REQUIRED.
- EXISTING BRASH ENCLOSURE TO REMAIN.
- NOT USED.
- EXISTING BUILDING STRUCTURAL COLUMN, CONCRETE FOUNDATION PIER, FOOTING, AND PERIMETER SLAB TO REMAIN.
- EXISTING PERIMETER WALL AND STEEL SUPPORT STRUCTURE TO REMAIN. PATCH AND REPAIR AS REQUIRED.
- NOT USED.
- EXISTING CURB/SIDEWALK TO REMAIN. PATCH AS REQUIRED TO MATCH ADJACENT.
- NOT USED.
- EXISTING GAS SERVICES/METER TO REMAIN.
- NOT USED.
- EXISTING WATER SERVICES/METER TO REMAIN.
- EXISTING TRANSFORMER TO REMAIN.
- NOT USED.
- EXISTING ELECTRICAL SERVICE/METER TO REMAIN.
- NOT USED.
- NOT USED.
- EXISTING CONCRETE PAD TO REMAIN.
- NOT USED.
- NOT USED.
- NOT USED.
- EXISTING FIRE DEPARTMENT CONNECTION TO REMAIN.
- EXISTING ROOFING SYSTEM TO REMAIN. PATCH AS NEEDED TO MATCH EXISTING.
- EXISTING OVERHANG/CANOPY TO REMAIN.
- EXISTING ROOF HATCH TO REMAIN. NO WORK.
- EXISTING WALL COPING TO REMAIN.
- NOT USED.
- EXISTING ROOF DRAIN TO REMAIN.
- EXISTING UNIVERSAL MECHANICAL CURB TO REMAIN.
- EXISTING MECHANICAL SCREEN TO REMAIN.
- NOT USED.
- EXISTING CEILING CONSTRUCTION TO REMAIN.
- EXISTING LIGHT FIXTURE TO REMAIN.
- NOT USED.
- NOT USED.
- REMOVE EXISTING BANKING EQUIPMENT.
- NOT USED.
- REMOVE EXISTING NIGHT DEPOSIT BOX.
- NOT USED.
- EXISTING CORNICE/OVERHANG/PROJECTION TO REMAIN. PATCH AND REPAIR AS REQUIRED.
- EXISTING DECORATIVE COLUMN TO REMAIN. PATCH AND REPAIR AS REQUIRED.
- REMOVE EXISTING CONCRETE SLAB, COMPACTED STONE BASE, AND EXCAVATE EXISTING SOILS AS REQUIRED FOR NEW ASPHALT PAVING.
- REMOVE EXISTING CURB.
- REMOVE PORTION OF EXISTING CANOPY AND COLUMN.
- REMOVE EXISTING BOLLARDS AND DRIVE-THRU ATM SYSTEM.
- REMOVE PART OF EXISTING CANOPY'S ROOFING SYSTEM. SEE GENERAL DEMOLITION NOTE #3.
- REMOVE EXISTING ROOFTOP UNIT FOR INSTALLATION OF NEW (BY LL), CAP AND SEAL UNIVERSAL CURB OPENING AS NECESSARY.
- REMOVE PART OF EXISTING WALL COPING AND PARAPET BLOCKING.
- EXISTING ROOF DRAIN TO REMAIN.
- REMOVE EXISTING SUSPENDED CEILING SYSTEM INCLUDING ASSOCIATED CEILING FIXTURES.
- REMOVE EXISTING CEILING CONSTRUCTION, INCLUDING GYPSUM BOARD SOFFITS AND ASSOCIATED CEILING FIXTURES.
- REMOVE EXISTING LIGHT FIXTURES IN THIS AREA. BALANCE OF REMAINING LIGHT FIXTURES TO REMAIN ACTIVE.
- NOT USED.
- REMOVE EXISTING SIGNAGE.
- REMOVE PART OF EXISTING CORNICE/OVERHANG/PROJECTION. SEE GENERAL DEMOLITION NOTE #3. SEE EXTERIOR ELEVATIONS FOR ADDITIONAL INFORMATION.
- EXISTING DOWNSPOUT TO REMAIN.
- EXISTING CRICKET TO BE REMOVED TO PROVIDE DRAINAGE.

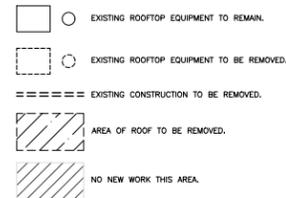
GENERAL DEMOLITION NOTES

- THE DEMOLITION DRAWINGS ARE SCOPE DOCUMENTS AND MAY NOT NECESSARILY INDICATE ALL WORK REQUIRED TO ACHIEVE THE DESIGN INTENT. THE G.C. SHALL VERIFY ALL EXISTING FIELD CONDITIONS PRIOR TO SUBMITTAL OF BID AND SHALL INCLUDE ALL NECESSARY ITEMS TO COMPLETE THE DESIGN INTENTION OF THESE DRAWINGS. THE G.C. SHALL REVIEW ALL THE CONST. DOCS FOR ADDITIONAL DEMOLITION NOTES. PATCH AND REPAIR ALL EXISTING SURFACES AS REQ'D TO MATCH ADJACENT EXISTING AND/OR NEW FINISH.
- THESE DRAWINGS WERE PREPARED BASED ON INFORMATION OBTAINED FROM A SITE SURVEY AND/OR AS-BUILT DRAWINGS. CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS IN FIELD PRIOR TO WORK & NOTIFY ARCHITECT OF DISCREPANCIES BEFORE PROCEEDING. WORK IS TO BE EXECUTED SO AS NOT TO DISTURB EXISTING STRUCTURAL SYSTEMS (EXCEPT AS NOTED).
- CONTRACTOR IS RESPONSIBLE FOR THE ENGINEERING OF ACTUAL SHORING AND BRACING OF THE EXISTING STRUCTURE AND ROOF DURING THE ENTIRE DEMOLITION AND CONSTRUCTION PERIOD. THE SHORING AND BRACING TO BE CERTIFIED BY AN ILLINOIS LICENSED STRUCTURAL ENGINEER.
- IT IS UNKNOWN WHETHER HAZARDOUS MATERIALS WILL BE ENCOUNTERED IN THE WORK. DO NOT DISTURB. IMMEDIATELY NOTIFY THE OWNER, OWNER WILL REMOVE OR HAVE REMOVED. HAZARDOUS MATERIALS UNDER SEPARATE CONTRACT.
- DEMOLITION INCLUDES COMPLETE REMOVAL, DISPOSAL, OR SAVINGS OF SPECIFIED WORK.
- SUBMIT PROPOSED METHODS AND OPERATION OF DEMOLITION TO OWNER FOR REVIEW PRIOR TO START OF WORK. INCLUDE IN SCHEDULE COORDINATION FOR SHUTOFF, CAPPING AND CONTINUATION OF UTILITY SERVICES, AS REQUIRED.
- ANY DAMAGE TO EXISTING EXTERIOR WALKS BY G.C. ARE TO BE REPAIRED BY THE G.C. AT THE G.C.'S SOLE EXPENSE.
- KEEP FIRE EXITS UNOBSTRUCTED AND AVAILABLE FOR USE AT ALL TIMES DURING DEMOLITION.
- DISPOSE ALL SALVAGED SURPLUS BUILDING MATERIALS, HARDWARE, DOOR FRAMES, FIRE EXTINGUISHERS, WINDOW BLINDS, LIGHT FIXTURES, DRAPES, CARPETS, ETC. NOT INDICATED TO BE RELOCATED OR REUSED.
- REMOVE EXISTING PARTITIONS, BUILT-INS, DOORS, ETC., SHOWN DASHED ON PLAN. PATCH AND REPAIR AS REQ'D. ALL ADJACENT SURFACES TO REMAIN.
- SWEEP AND VACUUM THE FLOOR AFTER PATCHING AND DEBRIS REMOVAL. DO NOT USE AN OIL BASED SWEEPING COMPOUND. ALL AREAS TO BE CLEAN.
- PATCH ALL PENETRATIONS, FINISH TO MATCH ADJ. SUBSTRATE AS REQ'D. MAINTAIN 1 HOUR RATING AT DEMISING WALL.
- MECHANICAL, PLUMBING, ELECTRICAL, AND TELEPHONE SYSTEMS DELETED BY NEW CONSTRUCTION SHALL BE REMOVED TO FURTHEST TERMINATION POINT U.A.O.
- EXIST. ELECTRICAL DEVICES THAT ARE MADE NON-USABLE BY NEW CONSTRUCTION, SHALL BE REMOVED AND OPENINGS PATCHED AND REPAIRED TO MATCH ADJ. MATERIALS AND FINISHES.
- ALL EXTERIOR OPENINGS LEFT DUE TO DEMOLITION ARE TO BE FILLED OR COVERED WITH SECURE, WEATHER TIGHT TEMPORARY PARTITIONS.
- G.C. TO VERIFY ROUGH OPENINGS AND LOCATION ON PLANS REQ'D FOR INSTALLATION OF NEW FOUNDATIONS AND CUTTING OF ALL OTHER OPENINGS.
- REMOVE ALL EXPOSED OR UNCOVERED PIPING AND CONDUIT ABOVE THE SLAB COMPLETELY DUE TO DEMOLITION WORK.



DEMOLITION FLOOR PLAN  
SCALE: 1/4" = 1'-0"

DEMOLITION ROOF SYMBOLS



DEMOLITION KEYNOTES

- NOT USED.
- EXISTING WINDOW, FRAME AND HARDWARE TO REMAIN. PATCH AND REPAIR AS REQUIRED.
- EXISTING DOOR, FRAME AND HARDWARE TO REMAIN. PATCH AND REPAIR AS REQUIRED.
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- NOT USED.
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- EXISTING ROOFING SYSTEM TO REMAIN. PATCH AS NEEDED TO MATCH EXISTING.
- EXISTING OVERHANG/CANOPY TO REMAIN.
- EXISTING ROOF HATCH TO REMAIN. NO WORK.
- EXISTING WALL COPING TO REMAIN.
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- EXISTING ROOF DRAIN TO REMAIN.
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- EXISTING MECHANICAL SCREEN TO REMAIN.
- NOT USED.
- EXISTING CEILING CONSTRUCTION TO REMAIN.
- EXISTING LIGHT FIXTURE TO REMAIN.
- NOT USED.
- NOT USED.
- REMOVE EXISTING BANKING EQUIPMENT.
- NOT USED.
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- REMOVE EXISTING CEILING CONSTRUCTION, INCLUDING GYPSUM BOARD SOFFITS AND ASSOCIATED CEILING FIXTURES.
- REMOVE EXISTING LIGHT FIXTURES IN THIS AREA. BALANCE OF REMAINING LIGHT FIXTURES TO REMAIN ACTIVE.
- NOT USED.
- REMOVE EXISTING SIGNAGE.
- REMOVE PART OF EXISTING CORNICE/OVERHANG/PROJECTION. SEE GENERAL DEMOLITION NOTE #3. SEE EXTERIOR ELEVATIONS FOR ADDITIONAL INFORMATION.
- EXISTING DOWNSPOUT TO REMAIN.
- EXISTING CRICKET TO BE REWORKED TO PROVIDE DRAINAGE.

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- SUBMIT PROPOSED METHODS AND OPERATION OF DEMOLITION TO OWNER FOR REVIEW PRIOR TO START OF WORK. INCLUDE IN SCHEDULE COORDINATION FOR SHUTOFF, CAPPING AND CONTINUATION OF UTILITY SERVICES AS REQUIRED.
- ANY DAMAGE TO EXISTING EXTERIOR WALKS BY G.C. ARE TO BE REPAIRED BY THE G.C. AT THE G.C.'S SOLE EXPENSE.
- KEEP FIRE EXITS UNOBSTRUCTED AND AVAILABLE FOR USE AT ALL TIMES DURING DEMOLITION.
- DISPOSE ALL SALVAGED SURPLUS BUILDING MATERIALS, HARDWARE, DOOR FRAMES, FIRE EXTINGUISHERS, WINDOW BLINDS, LIGHT FIXTURES, DRAPES, CARPETS, ETC. NOT INDICATED TO BE RELOCATED OR REUSED.
- REMOVE EXISTING PARTITIONS, BUILT-INS, DOORS, ETC., SHOWN DASHED ON PLAN. PATCH AND REPAIR AS REQ'D. ALL ADJACENT SURFACES TO REMAIN.
- SWEEP AND VACUUM THE FLOOR AFTER PATCHING AND DEBRIS REMOVAL. DO NOT USE AN OIL BASED SWEEPING COMPOUND. ALL AREAS TO BE CLEAN.
- PATCH ALL PENETRATIONS. FINISH TO MATCH ADJ. SUBSTRATE AS REQ'D. MAINTAIN 1 HOUR RATING AT DEMISING WALL.
- MECHANICAL, PLUMBING, ELECTRICAL, AND TELEPHONE SYSTEMS DELETED BY NEW CONSTRUCTION SHALL BE REMOVED TO FURTHEST TERMINATION POINT U.N.O. EXIST. ELECTRICAL DEVICES THAT ARE MADE NON-USABLE BY NEW CONSTRUCTION, SHALL BE REMOVED AND OPENINGS PATCHED AND REPAIRED TO MATCH ADJ. MATERIALS AND FINISHES.
- ALL EXTERIOR OPENINGS LEFT DUE TO DEMOLITION ARE TO BE FILLED OR COVERED WITH SECURE, WEATHER TIGHT TEMPORARY PARTITIONS.
- G.C. TO VERIFY ROUGH OPENINGS AND LOCATION ON PLANS REQ'D FOR INSTALLATION OF NEW FOUNDATIONS AND CUTTING OF ALL OTHER OPENINGS. REMOVE ALL EXPOSED OR UNCOVERED PIPING AND CONDUIT ABOVE THE SLAB COMPLETELY DUE TO DEMOLITION WORK.

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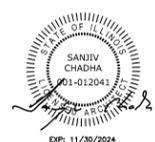
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LANDLORD WORK

RED TOP PLAZA  
SPACE#1366

1366 S MILWAUKEE AVENUE  
LIBERTYVILLE, ILLINOIS 60048

NO.	DESCRIPTION	DATE
2	PERMIT CORRECTIONS	1/09/2025
1	ISSUED FOR PERMIT	10/23/2024



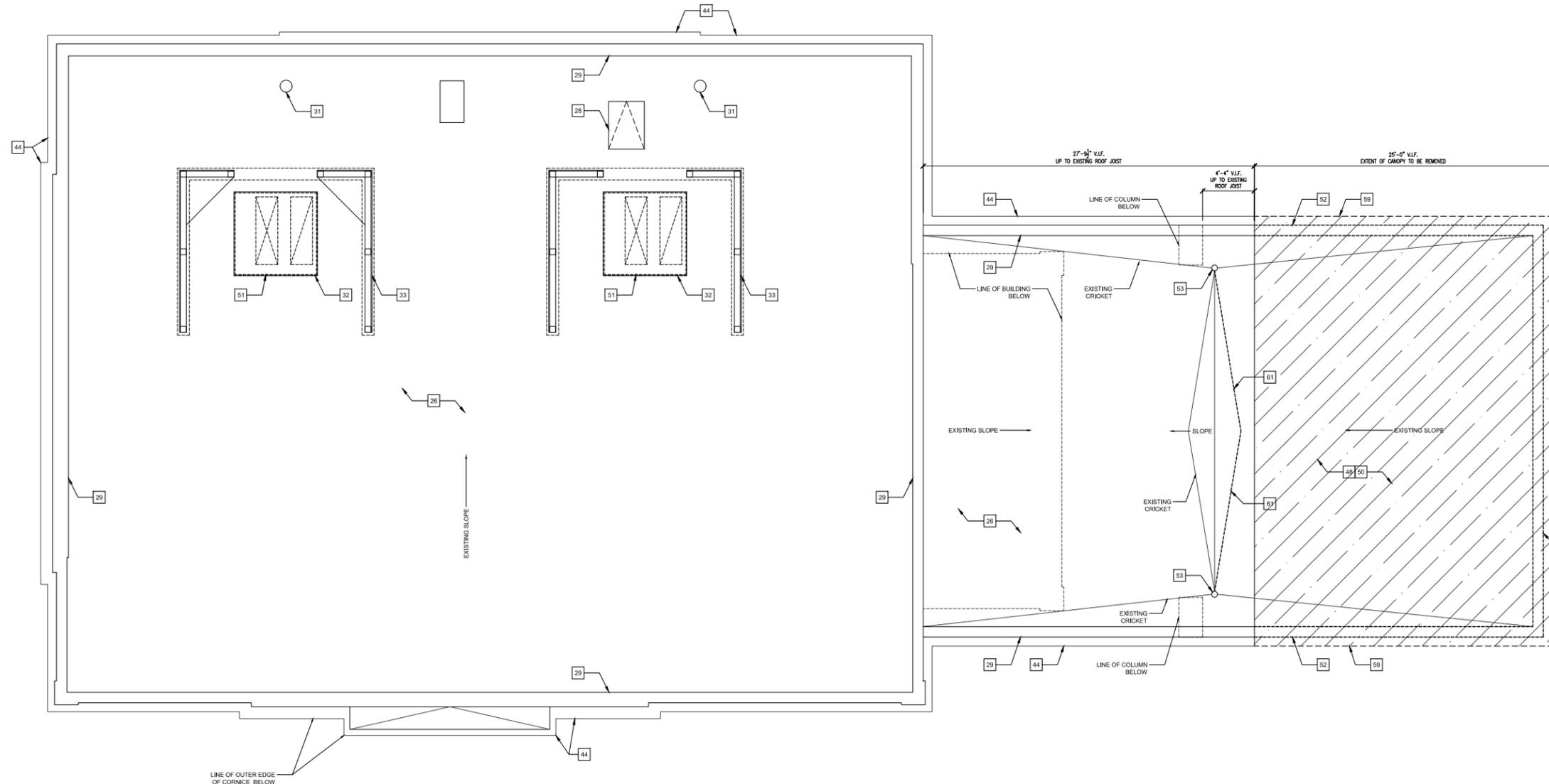
SHEET TITLE

DEMOLITION ROOF PLAN

SHEET NO.

AD1.2

NWS JOB NO. 24-0077



DEMOLITION ROOF PLAN  
SCALE: 1/4" = 1'-0"

DEMOLITION KEYNOTES

1. NOT USED.
2. EXISTING WINDOW, FRAME AND HARDWARE TO REMAIN. PATCH AND REPAIR AS REQUIRED.
3. EXISTING DOOR, FRAME AND HARDWARE TO REMAIN. PATCH AND REPAIR AS REQUIRED.
4. EXISTING TRASH ENCLOSURE TO REMAIN.
5. NOT USED.
6. EXISTING BUILDING STRUCTURAL COLUMN, CONCRETE FOUNDATION PIER, FOOTING, AND PERIMETER SLAB TO REMAIN.
7. EXISTING PERIMETER WALL AND STEEL SUPPORT STRUCTURE TO REMAIN. PATCH AND REPAIR AS REQUIRED.
8. NOT USED.
9. EXISTING CURB/SIDEWALK TO REMAIN. PATCH AS REQUIRED TO MATCH ADJACENT.
10. NOT USED.
11. NOT USED.
12. EXISTING GAS SERVICES/METER TO REMAIN.
13. EXISTING WATER SERVICES/METER TO REMAIN.
14. EXISTING TRANSFORMER TO REMAIN.
15. NOT USED.
16. EXISTING ELECTRICAL SERVICE/METER TO REMAIN.
17. NOT USED.
18. NOT USED.
19. NOT USED.
20. NOT USED.
21. EXISTING CONCRETE PAD TO REMAIN.
22. NOT USED.
23. NOT USED.
24. NOT USED.
25. EXISTING FIRE DEPARTMENT CONNECTION TO REMAIN.
26. EXISTING ROOFING SYSTEM TO REMAIN. PATCH AS NEEDED TO MATCH EXISTING.
27. EXISTING OVERHANG/CANOPY TO REMAIN.
28. EXISTING ROOF HATCH TO REMAIN. NO WORK.
29. EXISTING WALL CORING TO REMAIN.
30. NOT USED.
31. EXISTING ROOF DRAIN TO REMAIN.
32. EXISTING UNIVERSAL MECHANICAL CURB TO REMAIN.
33. EXISTING MECHANICAL SCREEN TO REMAIN.
34. NOT USED.
35. EXISTING CEILING CONSTRUCTION TO REMAIN.
36. EXISTING LIGHT FIXTURE TO REMAIN.
37. NOT USED.
38. NOT USED.
39. NOT USED.
40. REMOVE EXISTING BANKING EQUIPMENT.
41. NOT USED.
42. REMOVE EXISTING NIGHT DEPOSIT BOX.
43. NOT USED.
44. EXISTING CORNICE/OVERHANG/PROJECTION TO REMAIN. PATCH AND REPAIR AS REQUIRED.
45. EXISTING DECORATIVE COLUMN TO REMAIN. PATCH AND REPAIR AS REQUIRED.
46. REMOVE EXISTING CONCRETE SLAB, COMPACTED STONE BASE, AND EXCAVATE EXISTING SOILS AS REQUIRED FOR NEW ASPHALT PAVING.
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48. REMOVE PORTION OF EXISTING CANOPY AND COLUMN.
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LANDLORD WORK

RED TOP PLAZA  
SPACE#1366

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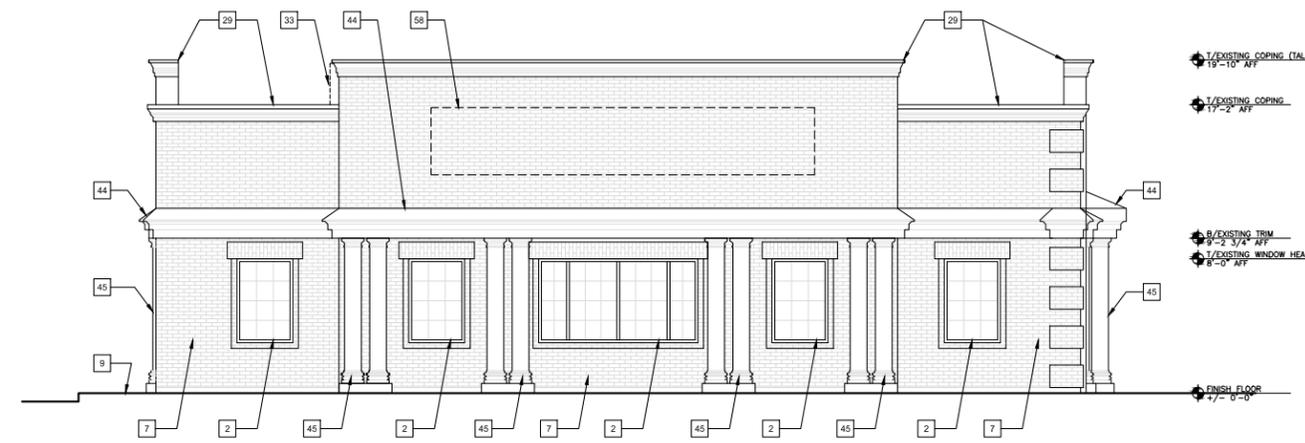
NO.	DESCRIPTION	DATE
2	PERMIT CORRECTIONS	1/09/2025
1	ISSUED FOR PERMIT	10/23/2024
NO.	DESCRIPTION	DATE



DEMOLITION EXTERIOR ELEVATIONS

AD2.1

NWS JOB NO. 24-0077



2 DEMOLITION EXTERIOR ELEVATION  
SCALE: 1/4" = 1'-0"



1 DEMOLITION EXTERIOR ELEVATION  
SCALE: 1/4" = 1'-0"

DEMOLITION KEYNOTES

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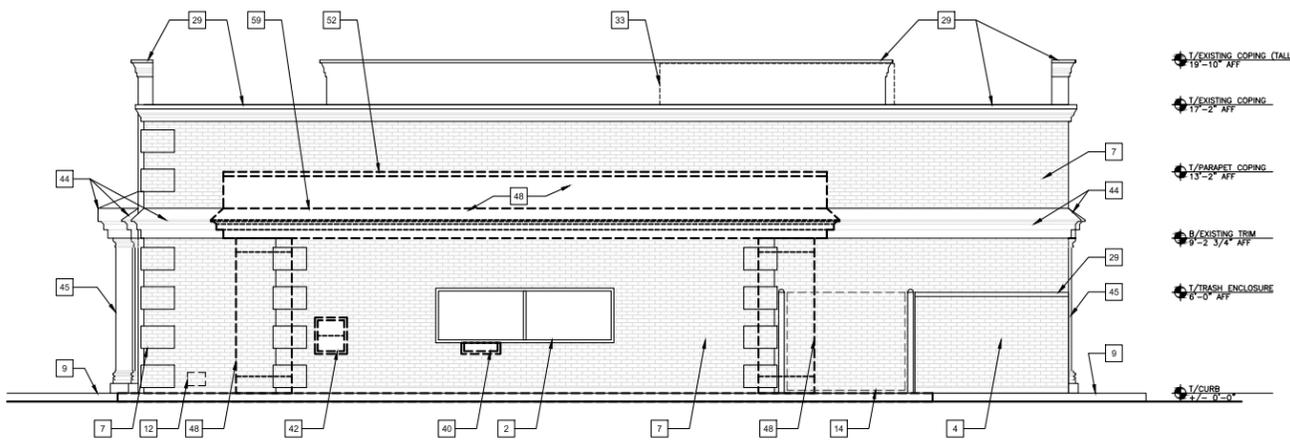
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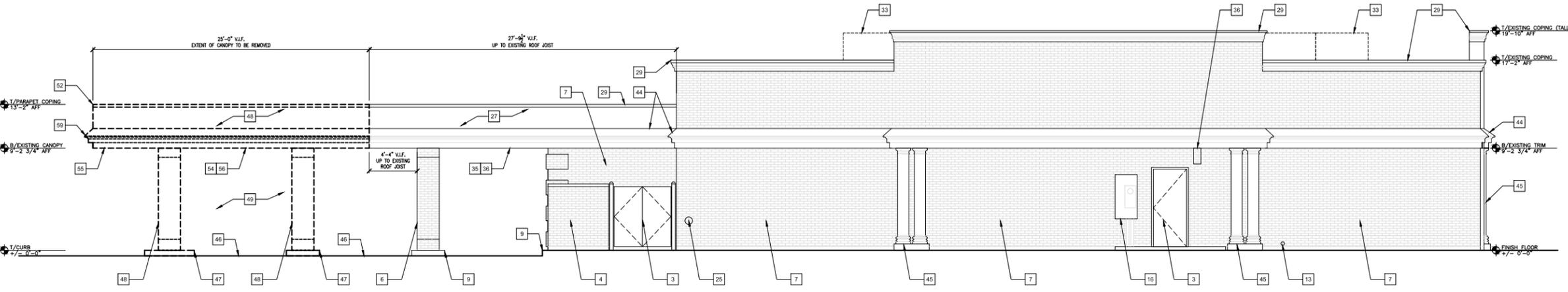
LANDLORD WORK

RED TOP PLAZA  
SPACE#1366

1366 S MILWAUKEE AVENUE  
LIBERTYVILLE, ILLINOIS 60048



2 DEMOLITION EXTERIOR ELEVATION  
SCALE: 1/4" = 1'-0"



1 DEMOLITION EXTERIOR ELEVATION  
SCALE: 1/4" = 1'-0"

NO.	DESCRIPTION	DATE
2	PERMIT CORRECTIONS	1/09/2025
1	ISSUED FOR PERMIT	10/23/2024
NO.	DESCRIPTION	DATE



DEMOLITION EXTERIOR ELEVATIONS

AD2.2



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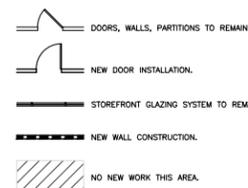
SHEET TITLE

FLOOR PLAN

SHEET NO.

**A1.1**

**PLAN SYMBOLS**

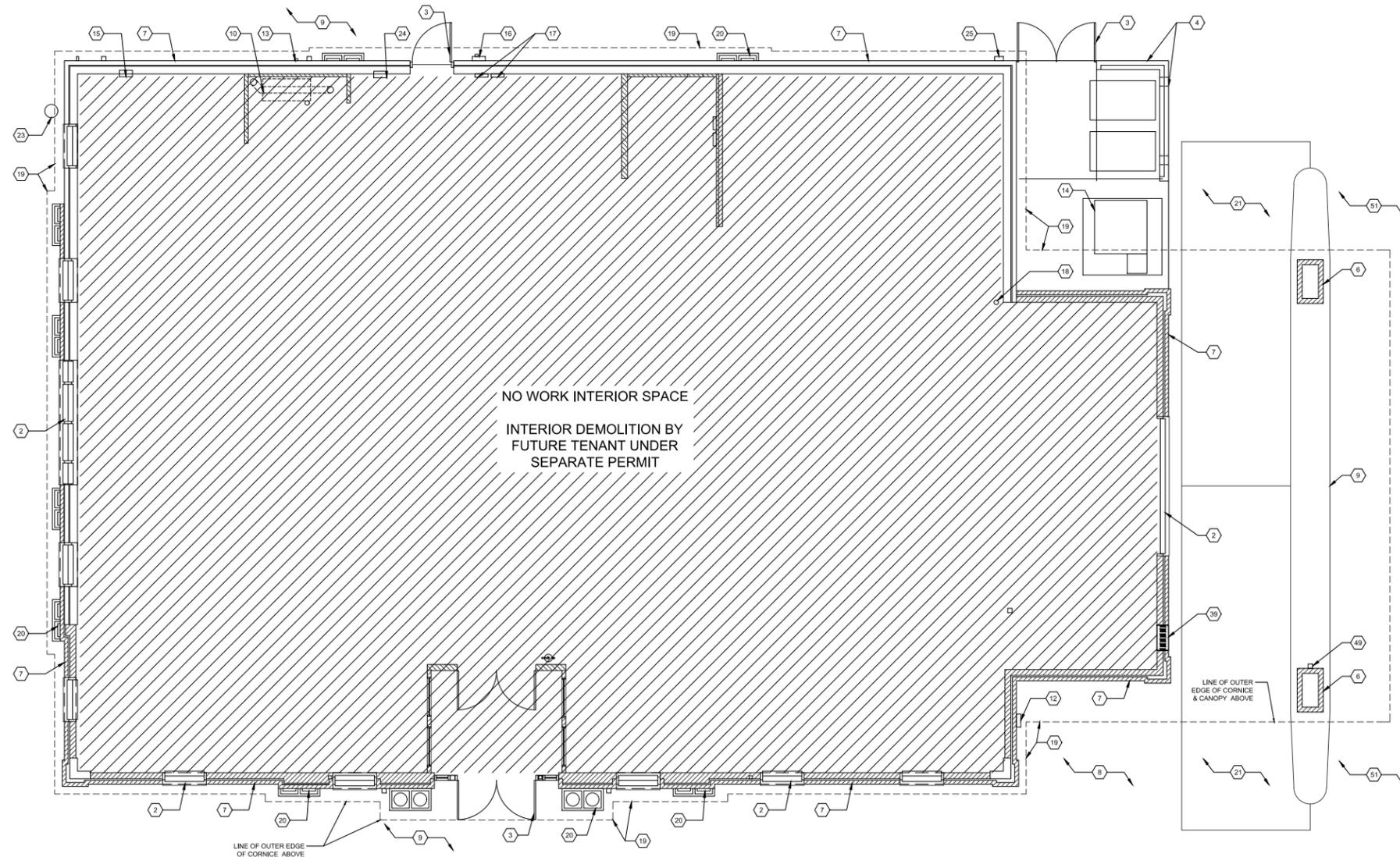


**CONSTRUCTION KEY NOTES**

- NOT USED.
- EXISTING WINDOW, FRAME AND HARDWARE TO REMAIN.
- EXISTING DOOR, FRAME AND HARDWARE TO REMAIN.
- EXISTING TRASH ENCLOSURE TO REMAIN, PATCH AND REPAIR AS REQUIRED.
- NOT USED.
- EXISTING BUILDING STRUCTURAL COLUMN, CONCRETE FOUNDATION PIER, FOOTING, AND PERIMETER SLAB TO REMAIN.
- EXISTING LANDSCAPING, COLUMN/TRELIS TO REMAIN, SEE A0.1 FOR MORE INFORMATION.
- EXISTING PERIMETER WALL AND STEEL SUPPORT STRUCTURE TO REMAIN, PATCH AND REPAIR AS REQUIRED.
- EXISTING CURB/SIDEWALK TO REMAIN, PATCH AS REQUIRED TO MATCH ADJACENT. SEE A0.1 FOR MORE INFORMATION.
- EXISTING SPRINKLER SYSTEM TO REMAIN.
- NOT USED.
- EXISTING GAS SERVICES/METER TO REMAIN.
- EXISTING WATER SERVICES/METER TO REMAIN.
- EXISTING TRANSFORMER TO REMAIN.
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- EXISTING SPRINKLER RISER TO REMAIN.
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- EXISTING DECORATIVE COLUMN TO REMAIN, PATCH AND REPAIR AS REQUIRED.
- EXISTING CONCRETE PAD TO REMAIN.
- NOT USED.
- EXISTING 1/2" UNDERGROUND CABLE TO REMAIN.
- EXISTING FIRE ALARM CONTROL PANEL TO REMAIN.
- EXISTING ROOFING SYSTEM TO REMAIN, PATCH AS NEEDED TO MATCH EXISTING.
- EXISTING PARAPET WALL TO REMAIN, PATCH AND REPAIR AS REQUIRED.
- EXISTING ROOF HATCH TO REMAIN, NO WORK.
- EXISTING WALL COPING TO REMAIN.
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- EXISTING MECHANICAL SCREEN TO REMAIN.
- EXISTING SUSPENDED CEILING SYSTEM TO REMAIN INCLUDING ASSOCIATED CEILING FIXTURES.
- EXISTING CEILING CONSTRUCTION, INCLUDING GYPSUM BOARD SOFFITS AND ASSOCIATED CEILING FIXTURES TO REMAIN.
- EXISTING LIGHT FIXTURES TO REMAIN.
- NOT USED.
- NOT USED.
- NEW EXTERIOR WALL INFILL TO MATCH EXISTING CONSTRUCTION AT REMOVED EXISTING BUILDING ITEM.
- NOT USED.
- NOT USED.
- NEW 7.5 TON OF HVAC ROOFTOP UNIT IN PLACE OF EXISTING BY L.L.
- NEW PREFABRICATED ALUMINUM COPING, PROVIDED & INSTALLED BY G.C. COLOR TO MATCH TRIM COLOR.
- NEW PARAPET WALL. SEE DETAIL 3/A2.2.
- REMOVE CRICKET TO PROVIDE DRAINAGE DUE TO PARTIAL CANOPY DEMOLITION.
- NOT USED.
- NEW CORNICE/OVERHANG/PROJECTION TO MATCH EXISTING. SEE DETAIL 3/A2.2.
- EXISTING DOWNSPOUT TO REMAIN.
- NEW DRYWALL SOFFIT CONSTRUCTION TO MATCH EXISTING. SEE DETAIL 3/A2.2.
- NEW ASPHALT PAVEMENT DUE TO CONCRETE SLAB AND DRIVE-THROUGH CURBS REMOVAL. ASPHALT PAVEMENT TO MATCH EXISTING. SEE A0.1 FOR MORE INFORMATION.

**GENERAL CONSTRUCTION NOTES**

- ALL GLAZED DOORS, AND ANY GLAZED PANEL MORE THAN 18" IN WIDTH IMMEDIATELY ADJACENT TO ANY DOOR WHEREIN THE SILL OF SUCH GLAZED PANEL IS LESS THAN 24" ABOVE THE FLOOR SHALL BE CONSIDERED "HAZARDOUS LOCATIONS" AND SHALL BE GLAZED WITH SAFETY GLAZING MATERIALS.
- ALL ROUGH CARPENTRY TO BE EXTERIOR GRADE AND FIRE-RETARDANT TREATED IN ACCORDANCE WITH LOCAL CODES.
- PARTITIONS ARE TO BE MARKED ON THE FLOOR FOR OWNER REP'S APPROVAL PRIOR TO INSTALLATION.
- ALL DRYWALL JOINTS AND CORNERS TO BE TAPED, FILLED AND SANDED SMOOTH IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS.
- THE CONTRACTOR SHALL REMOVE FROM TIME TO TIME AS DIRECTED, ALL RUBBISH AND DEBRIS AND UPON COMPLETION REMOVE ALL EQUIPMENT AND PERFORM FINAL CLEANING AS MAY BE NECESSARY TO LEAVE THE JOB READY FOR OCCUPANCY. G.C. SHALL DAILY REMOVE FROM THE SITE ALL COMBUSTIBLE BUILDING REFUSE INCLUDING BROKEN FORMS, SASH LUMBER, PAPER, ETC. ALL PACKING CASES, CRATES AND CARTONS IN WHICH CONSTRUCTION MATERIALS HAVE BEEN DELIVERED SHALL BE REMOVED IMMEDIATELY. THE BURNING OF REFUSE WILL NOT BE PERMITTED.
- CONTRACTOR TO PROVIDE MIN. 16 GA. BACKING STUDS AND/OR CONTINUOUS 14 GA. WIDE BACKING PLATE IN WALLS AND CEILING AS SHOWN FOR SUPPORT/BLOCKING OF MILLWORK, EQUIPMENT, SHELVING, ETC.
- DOORS USED IN CONNECTION WITH EXITS SHALL BE SO ARRANGED AS TO REMAIN UNOBSTRUCTED AND READY FOR OPERATIONAL WITHOUT THE USE OF A KEY OR ANY SPECIAL KNOWLEDGE FROM WHICH EGRESS IS MADE.
- G.C. TO EXCLUDE THE FIRE SAFETY MATERIAL ON STRUCTURAL MEMBERS ARE TO REMAIN INTACT AND UNALTERED DURING CONSTRUCTION. REPLACE AND REPAIR WITH EQUIVALENT FIRE SAFETY MATERIAL IF DAMAGED DURING CONSTRUCTION.
- G.C. SHALL PRIME ALL GYPSUM BOARD WALLS WITHIN THE LEASED PREMISES. ALL WALLS TO BE PRIMED (1 COAT), VERIFY WITH L.L.
- PROVIDE PAINTED METAL ACCESS PANELS IN WALLS AND CEILING AT CONCEALED ITEMS SUCH AS VALVES, SHOCK ABSORBERS, CONTROLS, SWITCHES, ETC. AND OTHERWISE PROVIDED.
- GENERAL CONTRACTOR SHALL VERIFY GOVERNMENTAL REQUIREMENTS PRIOR TO BID AND INCLUDE IN BID ALL COSTS ASSOCIATED WITH FIRE ALARM SYSTEM INCLUDING AUDIOVISUAL DEVICES AND PULL STATIONS WHERE REQUIRED.
- IT IS THE GENERAL CONTRACTOR'S RESPONSIBILITY TO COORDINATE, LOCATE AND CONFIRM ALL FLOOR SINK, UNDERGROUND/OVERHEAD PLUMBING AND ELECTRICAL STUB-UPS.
- ALL FINISHES AND FINISH MATERIALS, COLOR OR TEXTURES SHALL BE VERIFIED BY OWNER PRIOR TO INSTALLATION, FABRICATION OR ORDERING.
- THE GENERAL CONTRACTOR SHALL INCLUDE IN HIS BID THE HIGHEST QUALITY AND GREATEST QUANTITY FOR THE PURPOSE OF RESOLVING ANY CONFLICTS IN THE CONSTRUCTION DOCUMENTS WHICH ARE IMPLIED OR UNDEFINED.
- NOT USED.
- GENERAL CONTRACTOR TO CAULK AND SEAL ALL EXPANSION AND SAW CUT JOINTS AT ALL EXTERIOR/INTERIOR CONCRETE.
- ALL ITEMS SUCH AS LIGHT SWITCHES, FIRE EXTINGUISHERS, FIRE ALARM PULLS AND OTHER ITEMS TO BE LOCATED AS CLOSE AS POSSIBLE TO THE ADJACENT DOOR FRAME.
- NOT USED.
- GENERAL CONTRACTOR WILL FURNISH AND INSTALL ONE (1) 5 LBS. MULTIPURPOSE DRY CHEMICAL (A / 10BC) RATED FIRE EXTINGUISHER WITH MOUNTING BRACKETS AND ACCESSORIES AT 4'-0" A.F.F. AT EACH TENANT SPACE AS REQUIRED BY GOVERNMENTAL AUTHORITIES. MAX. TRAVEL DISTANCE OF 75'-0" FOR PLACEMENT.



**FLOOR PLAN**  
SCALE: 1/4" = 1'-0"  
NORTH



CONSULTANTS

LANDLORD/ OWNER:

STERLING ORGANIZATION

302 DATURA STREET, SUITE 100  
WEST PALM BEACH, FLORIDA 33401  
C: 224.770.7788

LANDLORD WORK

RED TOP PLAZA  
SPACE#1366

1366 S MILWAUKEE AVENUE  
LIBERTYVILLE, ILLINOIS 60048

NO.	DESCRIPTION	DATE
2	PERMIT CORRECTIONS	1/09/2025
1	ISSUED FOR PERMIT	10/23/2024



SHEET TITLE

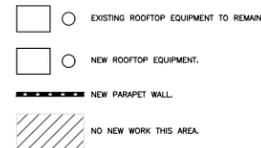
ROOF PLAN

SHEET NO.

A1.2

NWS JOB NO. 24-0077

ROOF SYMBOLS

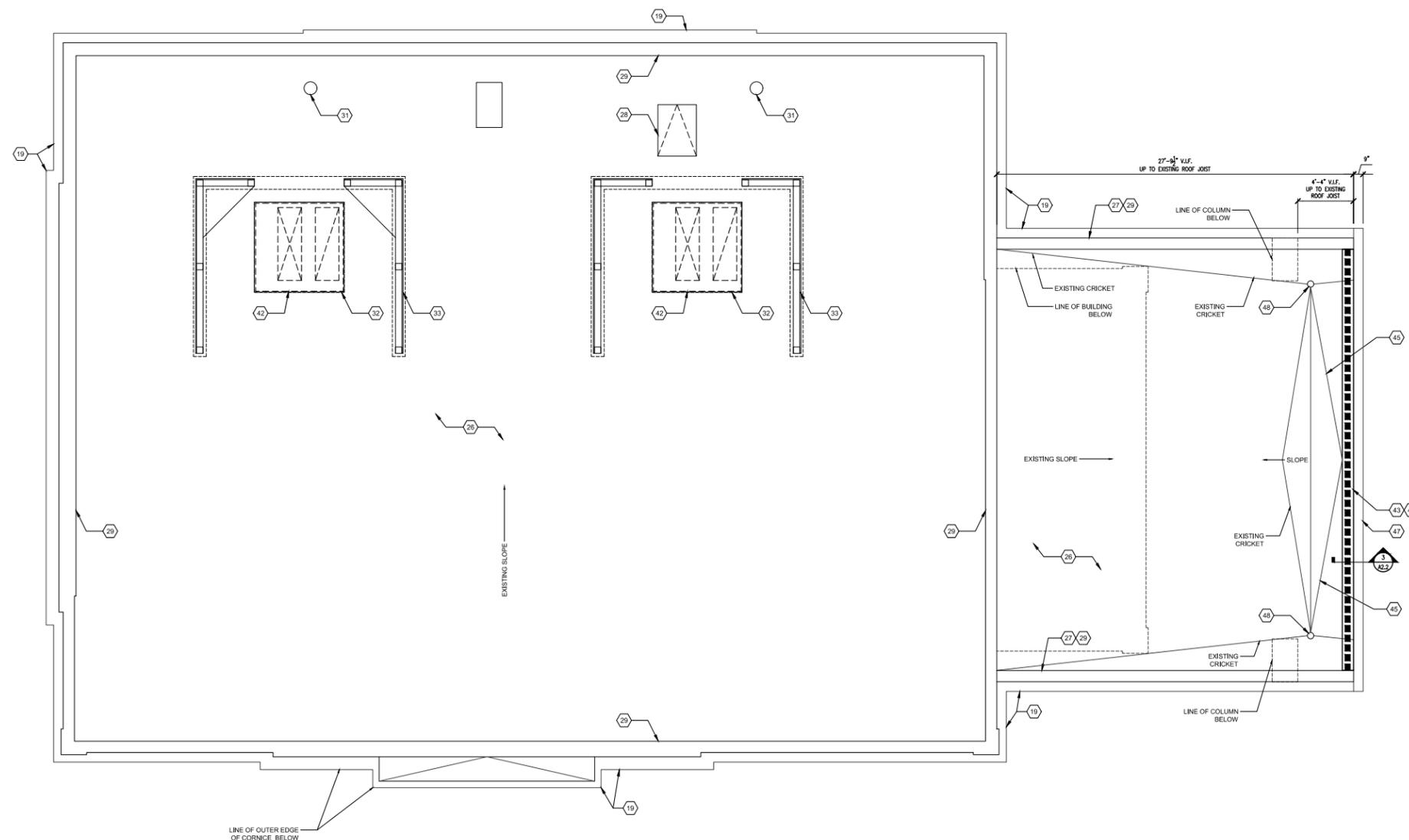


CONSTRUCTION KEY NOTES

- NOT USED.
- EXISTING WINDOW, FRAME AND HARDWARE TO REMAIN.
- EXISTING DOOR, FRAME AND HARDWARE TO REMAIN.
- EXISTING TRASH ENCLOSURE TO REMAIN, PATCH AND REPAIR AS REQUIRED.
- NOT USED.
- EXISTING BUILDING STRUCTURAL COLUMN, CONCRETE FOUNDATION PIER, FOOTING, AND PERIMETER SLAB TO REMAIN.
- EXISTING LANDSCAPING, COLUMN/TRELIS TO REMAIN, SEE A0.1 FOR MORE INFORMATION.
- EXISTING CURB/SIDEWALK TO REMAIN, PATCH AS REQUIRED TO MATCH ADJACENT. SEE A0.1 FOR MORE INFORMATION.
- EXISTING SPRINKLER SYSTEM TO REMAIN.
- NOT USED.
- EXISTING GAS SERVICES/METER TO REMAIN.
- EXISTING WATER SERVICES/METER TO REMAIN.
- EXISTING TRANSFORMER TO REMAIN.
- EXISTING WATER VALVE TO REMAIN.
- EXISTING ELECTRICAL SERVICE/METER TO REMAIN.
- EXISTING ELECTRICAL PANEL TO REMAIN.
- EXISTING SPRINKLER RISER TO REMAIN.
- EXISTING CORNICE/OVERHANG/PROJECTION TO REMAIN, PATCH AND REPAIR AS REQUIRED.
- EXISTING DECORATIVE COLUMN TO REMAIN, PATCH AND REPAIR AS REQUIRED.
- EXISTING CONCRETE PAD TO REMAIN.
- NOT USED.
- EXISTING AT&T UNDERGROUND CABLE TO REMAIN.
- EXISTING FIRE ALARM CONTROL PANEL TO REMAIN.
- EXISTING FIRE DEPARTMENT CONNECTION TO REMAIN.
- EXISTING ROOFING SYSTEM TO REMAIN, PATCH AS NEEDED TO MATCH EXISTING.
- EXISTING PARAPET WALL TO REMAIN, PATCH AND REPAIR AS REQUIRED.
- EXISTING ROOF HATCH TO REMAIN, NO WORK.
- EXISTING WALL COPING TO REMAIN.
- EXISTING ROOF OVERFLOW TO REMAIN.
- EXISTING ROOF DRAIN TO REMAIN.
- EXISTING UNIVERSAL MECHANICAL CURB TO REMAIN. THE CURB TO BE USED FOR NEW ROOF TOP UNIT BY L.L.
- EXISTING MECHANICAL SCREEN TO REMAIN.
- EXISTING SUSPENDED CEILING SYSTEM TO REMAIN INCLUDING ASSOCIATED CEILING FIXTURES.
- EXISTING CEILING CONSTRUCTION, INCLUDING GYPSUM BOARD SOFFITS AND ASSOCIATED CEILING FIXTURES TO REMAIN.
- NEW CRICKET TO PROVIDE DRAINAGE DUE TO PARTIAL CANOPY DEMOLITION.
- NOT USED.
- NEW EXTERIOR WALL INFILL TO MATCH EXISTING CONSTRUCTION AT REMOVED EXISTING BUILDING ITEM.
- NOT USED.
- NOT USED.
- NEW 7.5 TON OF HVAC ROOFTOP UNIT IN PLACE OF EXISTING BY L.L.
- NEW PREFABRICATED ALUMINUM COPING, PROVIDED & INSTALLED BY G.C. COLOR TO MATCH TRIM COLOR.
- NEW PARAPET WALL. SEE DETAIL 3/A2.2.
- NEW CRICKET TO PROVIDE DRAINAGE DUE TO PARTIAL CANOPY DEMOLITION.
- NOT USED.
- NEW CORNICE/OVERHANG/PROJECTION TO MATCH EXISTING. SEE DETAIL 3/A2.2.
- EXISTING ROOF DRAIN TO REMAIN.
- NEW DRYWALL SOFFIT CONSTRUCTION TO MATCH EXISTING. SEE DETAIL 3/A2.2.
- NEW ASPHALT PAVEMENT DUE TO CONCRETE SLAB AND DRIVE-THROUGH CURBS REMOVAL. ASPHALT PAVEMENT TO MATCH EXISTING. SEE A0.1 FOR MORE INFORMATION.

GENERAL CONSTRUCTION NOTES

- ALL GLAZED DOORS, AND ANY GLAZED PANEL MORE THAN 18" IN WIDTH IMMEDIATELY ADJACENT TO ANY DOOR WHEREIN THE SILL OF SUCH GLAZED PANEL IS LESS THAN 24" ABOVE THE FLOOR SHALL BE CONSIDERED "HAZARDOUS LOCATIONS" AND SHALL BE GLAZED WITH SAFETY GLAZING MATERIALS.
- ALL ROUGH CARPENTRY TO BE EXTERIOR GRADE AND FIRE-RETARDANT TREATED IN ACCORDANCE WITH LOCAL CODES.
- PARTITIONS ARE TO BE MARKED ON THE FLOOR FOR OWNER REP'S APPROVAL PRIOR TO INSTALLATION.
- ALL DRYWALL JOINTS AND CORNERS TO BE TAPED, FILLED AND SANDED SMOOTH IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS.
- THE CONTRACTOR SHALL REMOVE FROM TIME TO TIME AS DIRECTED, ALL RUBBISH AND DEBRIS AND UPON COMPLETION REMOVE ALL EQUIPMENT AND PERFORM FINAL CLEANING AS MAY BE NECESSARY TO LEAVE THE JOB READY FOR OCCUPANCY. G.C. SHALL DAILY REMOVE FROM THE SITE ALL COMBUSTIBLE BUILDING REFUSE INCLUDING BROKEN FORMS, SCRAP LUMBER, PAPER, ETC. ALL PACKING CASES, CRATES AND CARTONS IN WHICH CONSTRUCTION MATERIALS HAVE BEEN DELIVERED SHALL BE REMOVED IMMEDIATELY. THE BURNING OF REFUSE WILL NOT BE PERMITTED.
- CONTRACTOR TO PROVIDE MIN. 16 GA. BACKING STUDS AND/OR CONTINUOUS 14 GA. WIDE BACKING PLATE IN WALLS AND CEILING AS SHOWN FOR SUPPORT/BLOCKING OF MILLWORK, EQUIPMENT, SHELVING, ETC.
- DOORS USED IN CONNECTION WITH EXITS SHALL BE SO ARRANGED AS TO REMAIN UNOBTURATED AND READY FOR OPERATIONAL WITHOUT THE USE OF A KEY OR ANY SPECIAL KNOWLEDGE FROM WHICH EGRESS IS MADE.
- G.C. TO ENSURE THE FIRE SAFETY MATERIAL ON STRUCTURAL MEMBERS ARE TO REMAIN INTACT AND UNALTERED DURING CONSTRUCTION. REPLACE AND REPAIR WITH EQUIVALENT FIRE SAFETY MATERIAL IF DAMAGED DURING CONSTRUCTION.
- G.C. SHALL PRIME ALL GYPSUM BOARD WALLS WITHIN THE LEASED PREMISES. ALL WALLS TO BE PRIMED (1 COAT), VERIFY WITH L.L.
- PROVIDE PAINTED METAL ACCESS PANELS IN WALLS AND CEILING AT CONCEALED ITEMS SUCH AS VALVES, SHOCK ABSORBERS, CONTROLS, SWITCHES, ETC. AND OTHERWISE PROVIDED.
- GENERAL CONTRACTOR SHALL VERIFY GOVERNMENTAL REQUIREMENTS PRIOR TO BID AND INCLUDE IN BID ALL COSTS ASSOCIATED WITH FIRE ALARM SYSTEM INCLUDING AUDIOVISUAL DEVICES AND PULL STATIONS WHERE REQUIRED.
- IT IS THE GENERAL CONTRACTOR'S RESPONSIBILITY TO COORDINATE, LOCATE AND CONFIRM ALL FLOOR SINK, UNDERGROUND/OVERHEAD PLUMBING AND ELECTRICAL STUB-UPS.
- ALL FINISHES AND FINISH MATERIALS, COLOR OR TEXTURES SHALL BE VERIFIED BY OWNER PRIOR TO INSTALLATION, FABRICATION OR ORDERING.
- THE GENERAL CONTRACTOR SHALL INCLUDE IN HIS BID THE HIGHEST QUALITY AND GREATEST QUANTITY FOR THE PURPOSE OF RESOLVING ANY CONFLICTS IN THE CONSTRUCTION DOCUMENTS WHICH ARE IMPLIED OR UNDEFINED.
- NOT USED.
- GENERAL CONTRACTOR TO CAULK AND SEAL ALL EXPANSION AND SAW CUT JOINTS AT ALL EXTERIOR/INTERIOR CONCRETE.
- ALL ITEMS SUCH AS LIGHT SWITCHES, FIRE EXTINGUISHERS, FIRE ALARM PULLS AND OTHER ITEMS TO BE LOCATED AS CLOSE AS POSSIBLE TO THE ADJACENT DOOR FRAME.
- NOT USED.
- GENERAL CONTRACTOR WILL FURNISH AND INSTALL ONE (1) 5 LBS. MULTIPURPOSE DRY CHEMICAL (A / ABC) RATED FIRE EXTINGUISHER WITH MOUNTING BRACKETS AND ACCESSORIES AT 4'-0" A.F.F. AT EACH TENANT SPACE AS REQUIRED BY GOVERNMENTAL AUTHORITIES. MAX. TRAVEL DISTANCE OF 75'-0" FOR PLACEMENT.



NORTH  
1  
A1.1  
SCALE: 1/4" = 1'-0"  
ROOF PLAN



CONSULTANTS

LANDLORD/ OWNER:

**STERLING ORGANIZATION**

302 DATURA STREET, SUITE 100  
WEST PALM BEACH, FLORIDA 33401  
C: 224.770.7788

**LANDLORD WORK**

**RED TOP PLAZA  
SPACE#1366**

1366 S MILWAUKEE AVENUE  
LIBERTYVILLE, ILLINOIS 60048

2	PERMIT CORRECTIONS	1/09/2025
1	ISSUED FOR PERMIT	10/23/2024
NO.	DESCRIPTION	DATE



SHEET TITLE

**REFLECTED  
CEILING PLAN**

SHEET NO.

**A1.3**

**REFLECTED CEILING PLAN SYMBOLS**

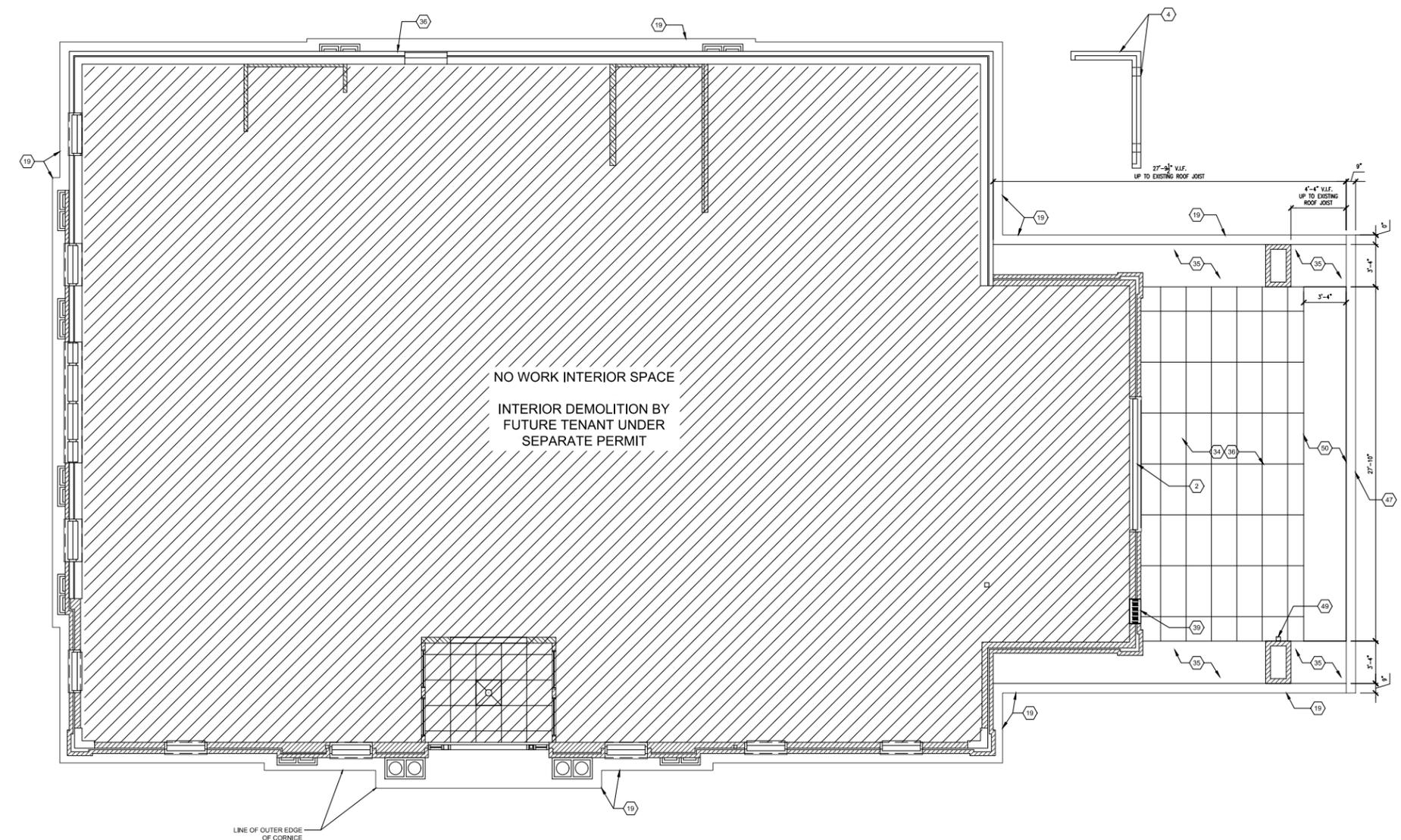
- NEW CONSTRUCTION.
- GYPSUM BOARD CEILING TO REMAIN.
- ACOUSTIC CEILING TILE/GRID TO REMAIN.
- LIGHT FIXTURES TO REMAIN.
- CEILING EQUIPMENT TO REMAIN.
- EXIT SIGN TO REMAIN.

**CONSTRUCTION KEY NOTES**

1. NOT USED.
2. EXISTING WINDOW, FRAME AND HARDWARE TO REMAIN.
3. EXISTING DOOR, FRAME AND HARDWARE TO REMAIN.
4. EXISTING TRASH ENCLOSURE TO REMAIN, PATCH AND REPAIR AS REQUIRED.
5. NOT USED.
6. EXISTING BUILDING STRUCTURAL COLUMN, CONCRETE FOUNDATION PIER, FOOTING, AND PERIMETER SLAB TO REMAIN.
7. EXISTING PERIMETER WALL AND STEEL SUPPORT STRUCTURE TO REMAIN, PATCH AND REPAIR AS REQUIRED.
8. EXISTING LANDSCAPING, COLUMN/TRELIS TO REMAIN, SEE A0.1 FOR MORE INFORMATION.
9. EXISTING CURB/SIDEWALK TO REMAIN, PATCH AS REQUIRED TO MATCH ADJACENT. SEE A0.1 FOR MORE INFORMATION.
10. EXISTING SPRINKLER SYSTEM TO REMAIN.
11. NOT USED.
12. EXISTING GAS SERVICES/METER TO REMAIN.
13. EXISTING WATER SERVICES/METER TO REMAIN.
14. EXISTING TRANSFORMER TO REMAIN.
15. EXISTING WATER VALVE TO REMAIN.
16. EXISTING ELECTRICAL SERVICE/METER TO REMAIN.
17. EXISTING ELECTRICAL PANEL TO REMAIN.
18. EXISTING SPRINKLER RISER TO REMAIN.
19. EXISTING CORNICE/OVERHANG/PROJECTION TO REMAIN, PATCH AND REPAIR AS REQUIRED.
20. EXISTING DECORATIVE COLUMN TO REMAIN, PATCH AND REPAIR AS REQUIRED.
21. EXISTING CONCRETE PAD TO REMAIN.
22. NOT USED.
23. EXISTING 1/2" UNDERGROUND CABLE TO REMAIN.
24. EXISTING FIRE ALARM CONTROL PANEL TO REMAIN.
25. EXISTING FIRE DEPARTMENT CONNECTION TO REMAIN.
26. EXISTING ROOFING SYSTEM TO REMAIN, PATCH AS NEEDED TO MATCH EXISTING.
27. EXISTING PARAPET WALL TO REMAIN, PATCH AND REPAIR AS REQUIRED.
28. EXISTING ROOF HATCH TO REMAIN, NO WORK.
29. EXISTING WALL COPING TO REMAIN.
30. EXISTING ROOF OVERFLOW TO REMAIN.
31. EXISTING ROOF DRAIN TO REMAIN.
32. EXISTING UNIVERSAL MECHANICAL CURB TO REMAIN. THE CURB TO BE USED FOR NEW ROOF TOP UNIT BY ILL.
33. EXISTING MECHANICAL SCREEN TO REMAIN.
34. EXISTING SUSPENDED CEILING SYSTEM TO REMAIN INCLUDING ASSOCIATED CEILING FIXTURES.
35. EXISTING CEILING CONSTRUCTION, INCLUDING GYPSUM BOARD SOFFITS AND ASSOCIATED CEILING FIXTURES TO REMAIN.
36. EXISTING LIGHT FIXTURE TO REMAIN.
37. NOT USED.
38. NOT USED.
39. NEW EXTERIOR WALL INFILL TO MATCH EXISTING CONSTRUCTION AT REMOVED EXISTING BUILDING ITEM.
40. NOT USED.
41. NOT USED.
42. NEW 7.5 TON OF HVAC ROOFTOP UNIT IN PLACE OF EXISTING BY LL.
43. NEW PREFABRICATED ALUMINUM COPING, PROVIDED & INSTALLED BY G.C. COLOR TO MATCH TRIM COLOR.
44. NEW PARAPET WALL. SEE DETAIL 3/A2.2.
45. REMOVE CRICKET TO PROVIDE DRAINAGE DUE TO PARTIAL CANOPY DEMOLITION.
46. NOT USED.
47. NEW CORNICE/OVERHANG/PROJECTION TO MATCH EXISTING. SEE DETAIL 3/A2.2.
48. EXISTING ROOF DRAIN TO REMAIN.
49. EXISTING DOWNSPOUT TO REMAIN.
50. NEW DRYWALL SOFFIT CONSTRUCTION TO MATCH EXISTING. SEE DETAIL 3/A2.2.
51. NEW ASPHALT PAVEMENT DUE TO CONCRETE SLAB AND DRIVE-THROUGH CURBS REMOVAL. ASPHALT PAVEMENT TO MATCH EXISTING. SEE A0.1 FOR MORE INFORMATION.

**GENERAL CONSTRUCTION NOTES**

1. ALL GLAZED DOORS, AND ANY GLAZED PANEL MORE THAN 18" IN WIDTH IMMEDIATELY ADJACENT TO ANY DOOR WHEREIN THE SILL OF SUCH GLAZED PANEL IS LESS THAN 24" ABOVE THE FLOOR SHALL BE CONSIDERED "HAZARDOUS LOCATIONS" AND SHALL BE GLAZED WITH SAFETY GLAZING MATERIALS.
2. ALL ROUGH CARPENTRY TO BE EXTERIOR GRADE AND FIRE-RETARDANT TREATED IN ACCORDANCE WITH LOCAL CODES.
3. PARTITIONS ARE TO BE MARKED ON THE FLOOR FOR OWNER REP'S APPROVAL PRIOR TO INSTALLATION.
4. ALL DRYWALL JOINTS AND CORNERS TO BE TAPED, FILLED AND SANDED SMOOTH IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS.
5. THE CONTRACTOR SHALL REMOVE FROM TIME TO TIME AS DIRECTED, ALL RUBBISH AND DEBRIS AND UPON COMPLETION REMOVE ALL EQUIPMENT AND PERFORM FINAL CLEANING AS MAY BE NECESSARY TO LEAVE THE JOB READY FOR OCCUPANCY. G.C. SHALL DAILY REMOVE FROM THE SITE ALL COMBUSTIBLE BUILDING REFUSE INCLUDING BROKEN FORMS, SCRAP LUMBER, PAPER, ETC. ALL PACKING CASES, CRATES AND CARTONS IN WHICH CONSTRUCTION MATERIALS HAVE BEEN DELIVERED SHALL BE REMOVED IMMEDIATELY. THE BURNING OF REFUSE WILL NOT BE PERMITTED.
6. CONTRACTOR TO PROVIDE MIN. 16 GA. BACKING STUDS AND/OR CONTINUOUS 14 GA. WIDE BACKING PLATE IN WALLS AND CEILING AS SHOWN FOR SUPPORT/BLOCKING OF MILLWORK, EQUIPMENT, SHELVING, ETC.
7. DOORS USED IN CONNECTION WITH EXITS SHALL BE SO ARRANGED AS TO REMAIN UNOBSTRUCTED AND READY FOR OPERATIONAL WITHOUT THE USE OF A KEY OR ANY SPECIAL KNOWLEDGE FROM WHICH EGRESS IS MADE.
8. G.C. TO EXCLUDE THE FIRE SAFING MATERIAL ON STRUCTURAL MEMBERS ARE TO REMAIN INTACT AND UNALTERED DURING CONSTRUCTION. REPLACE AND REPAIR WITH EQUIVALENT FIRE SAFING MATERIAL IF DAMAGED DURING CONSTRUCTION.
9. G.C. SHALL PRIME ALL GYPSUM BOARD WALLS WITHIN THE LEASED PREMISES. ALL WALLS TO BE PRIMED (1 COAT), VERIFY WITH LL.
10. PROVIDE PAINTED METAL ACCESS PANELS IN WALLS AND CEILING AT CONCEALED ITEMS SUCH AS VALVES, SHOCK ABSORBERS, CONTROLS, SWITCHES, ETC. AND OTHERWISE PROVIDED.
11. GENERAL CONTRACTOR SHALL VERIFY GOVERNMENTAL REQUIREMENTS PRIOR TO BID AND INCLUDE IN BID ALL COSTS ASSOCIATED WITH FIRE ALARM SYSTEM INCLUDING AUDIOVISUAL DEVICES AND PULL STATIONS WHERE REQUIRED.
12. IT IS THE GENERAL CONTRACTOR'S RESPONSIBILITY TO COORDINATE, LOCATE AND CONFIRM ALL FLOOR SINK, UNDERGROUND/OVERHEAD PLUMBING AND ELECTRICAL STUB-UPS.
13. ALL FINISHES AND FINISH MATERIALS, COLOR OR TEXTURES SHALL BE VERIFIED BY OWNER PRIOR TO INSTALLATION, FABRICATION OR ORDERING.
14. THE GENERAL CONTRACTOR SHALL INCLUDE IN HIS BID THE HIGHEST QUALITY AND GREATEST QUANTITY FOR THE PURPOSE OF RESOLVING ANY CONFLICTS IN THE CONSTRUCTION DOCUMENTS WHICH ARE IMPLIED OR UNDEFINED.
15. NOT USED.
16. GENERAL CONTRACTOR TO CAULK AND SEAL ALL EXPANSION AND SAW CUT JOINTS AT ALL EXTERIOR/INTERIOR CONCRETE.
17. ALL ITEMS SUCH AS LIGHT SWITCHES, FIRE EXTINGUISHERS, FIRE ALARM PULLS AND OTHER ITEMS TO BE LOCATED AS CLOSE AS POSSIBLE TO THE ADJACENT DOOR FRAME.
18. NOT USED.
19. GENERAL CONTRACTOR WILL FURNISH AND INSTALL ONE (1) 5 LBS. MULTIPURPOSE DRY CHEMICAL (2A / 10BC) RATED FIRE EXTINGUISHER WITH MOUNTING BRACKETS AND ACCESSORIES AT 4'-0" A.F.F. AT EACH TENANT SPACE AS REQUIRED BY GOVERNMENTAL AUTHORITIES. MAX. TRAVEL DISTANCE OF 75'-0" FOR PLACEMENT.



**REFLECTED CEILING PLAN**  
SCALE: 1/4" = 1'-0"

CONSTRUCTION KEY NOTES

- NOT USED.
- EXISTING WINDOW, FRAME AND HARDWARE TO REMAIN.
- EXISTING DOOR, FRAME AND HARDWARE TO REMAIN.
- EXISTING TRASH ENCLOSURE TO REMAIN, PATCH AND REPAIR AS REQUIRED.
- NOT USED.
- EXISTING BUILDING STRUCTURAL COLUMN, CONCRETE FOUNDATION PIER, FOOTING, AND PERIMETER SLAB TO REMAIN.
- EXISTING LANDSCAPING, COLUMN/TRELIS SUPPORT STRUCTURE TO REMAIN, PATCH AND REPAIR AS REQUIRED.
- EXISTING GAS SERVICES/METER TO REMAIN. SEE A0.1 FOR MORE INFORMATION.
- EXISTING CURB/SIDEWALK TO REMAIN. PATCH AS REQUIRED TO MATCH ADJACENT. SEE A0.1 FOR MORE INFORMATION.
- EXISTING SPRINKLER SYSTEM TO REMAIN.
- NOT USED.
- EXISTING GAS SERVICES/METER TO REMAIN.
- EXISTING WATER SERVICES/METER TO REMAIN.
- EXISTING WATER VALVE TO REMAIN.
- EXISTING ELECTRICAL SERVICE/METER TO REMAIN.
- EXISTING ELECTRICAL PANEL TO REMAIN.
- EXISTING SPRINKLER RISER TO REMAIN.
- EXISTING CORNICE/OVERHANG/PROJECTION TO REMAIN, PATCH AND REPAIR AS REQUIRED.
- EXISTING DECORATIVE COLUMN TO REMAIN, PATCH AND REPAIR AS REQUIRED.
- EXISTING CONCRETE PAD TO REMAIN.
- NOT USED.
- EXISTING AT&T UNDERGROUND CABLE TO REMAIN.
- EXISTING FIRE ALARM CONTROL PANEL TO REMAIN.
- EXISTING FIRE DEPARTMENT CONNECTION TO REMAIN.
- EXISTING ROOFING SYSTEM TO REMAIN, PATCH AS NEEDED TO MATCH EXISTING.
- EXISTING PARAPET WALL TO REMAIN, PATCH AND REPAIR AS REQUIRED.
- EXISTING ROOF HATCH TO REMAIN, NO WORK.
- EXISTING WALL COPING TO REMAIN.
- EXISTING ROOF OVERFLOW TO REMAIN.
- EXISTING ROOF DRAIN TO REMAIN.
- EXISTING UNIVERSAL MECHANICAL CURB TO REMAIN. THE CURB TO BE USED FOR NEW ROOF TOP UNIT BY L.L.
- EXISTING MECHANICAL SCREEN TO REMAIN.
- EXISTING SUSPENDED CEILING SYSTEM TO REMAIN INCLUDING ASSOCIATED CEILING FIXTURES.
- EXISTING CEILING CONSTRUCTION, INCLUDING GYPSUM BOARD SOFFITS AND ASSOCIATED CEILING FIXTURES TO REMAIN.
- NOT USED.
- NOT USED.
- NEW EXTERIOR WALL INFILL TO MATCH EXISTING CONSTRUCTION AT REMOVED EXISTING BUILDING ITEM.
- NOT USED.
- NOT USED.
- NEW 7.5 TON OF HVAC ROOFTOP UNIT IN PLACE OF EXISTING BY L.L.
- NEW PREFABRICATED ALUMINUM COPING, PROVIDED & INSTALLED BY G.C. COLOR TO MATCH TRIM COLOR.
- NEW PARAPET WALL. SEE DETAIL 3/A2.2.
- REMOVE CRICKET TO PROVIDE DRAINAGE DUE TO PARTIAL CANOPY DEMOLITION.
- NOT USED.
- NEW CORNICE/OVERHANG/PROJECTION TO MATCH EXISTING. SEE DETAIL 3/A2.2.
- EXISTING DOWNSPOUT TO REMAIN.
- NEW DRYWALL SOFFIT CONSTRUCTION TO MATCH EXISTING. SEE DETAIL 3/A2.2.
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- ALL GLAZED DOORS, AND ANY GLAZED PANEL MORE THAN 18" IN WIDTH IMMEDIATELY ADJACENT TO ANY DOOR WHEREIN THE SILL OF SUCH GLAZED PANEL IS LESS THAN 24" ABOVE THE FLOOR SHALL BE CONSIDERED "HAZARDOUS LOCATIONS" AND SHALL BE GLAZED WITH SAFETY GLAZING MATERIALS.
- ALL ROUGH CARPENTRY TO BE EXTERIOR GRADE AND FIRE-RETARDANT TREATED IN ACCORDANCE WITH LOCAL CODES.
- PARTITIONS ARE TO BE MARKED ON THE FLOOR FOR OWNER REP'S APPROVAL PRIOR TO INSTALLATION.
- ALL DRYWALL JOINTS AND CORNERS TO BE TAPED, FILLED AND SANDED SMOOTH IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS.
- THE CONTRACTOR SHALL REMOVE FROM TIME TO TIME AS DIRECTED, ALL RUBBISH AND DEBRIS AND UPON COMPLETION REMOVE ALL EQUIPMENT AND PERFORM FINAL CLEANING AS MAY BE NECESSARY TO LEAVE THE JOB READY FOR OCCUPANCY. G.C. SHALL DAILY REMOVE FROM THE SITE ALL COMBUSTIBLE BUILDING REFUSE INCLUDING BROKEN FORMS, SCRAP LUMBER, PAPER, ETC. ALL PACKING CASES, CRATES AND CARTONS IN WHICH CONSTRUCTION MATERIALS HAVE BEEN DELIVERED SHALL BE REMOVED IMMEDIATELY. THE BURNING OF REFUSE WILL NOT BE PERMITTED.
- CONTRACTOR TO PROVIDE MIN. 16 GA. BACKING STUDS AND/OR CONTINUOUS 14 GA. WIDE BACKING PLATE IN WALLS AND CEILING AS SHOWN FOR SUPPORT/BLOCKING OF MILLWORK, EQUIPMENT, SHELVING, ETC.
- DOORS USED IN CONNECTION WITH EXITS SHALL BE SO ARRANGED AS TO REMAIN UNOBTURATED AND READY FOR OPERATIONAL WITHOUT THE USE OF A KEY OR ANY SPECIAL KNOWLEDGE FROM WHICH EGRESS IS MADE.
- G.C. TO EXCLUDE THE FIRE SAFETY MATERIAL ON STRUCTURAL MEMBERS ARE TO REMAIN INTACT AND UNALTERED DURING CONSTRUCTION. REPLACE AND REPAIR WITH EQUIVALENT FIRE SAFETY MATERIAL IF DAMAGED DURING CONSTRUCTION.
- G.C. SHALL PRIME ALL GYPSUM BOARD WALLS WITHIN THE LEASED PREMISES. ALL WALLS TO BE PRIMED (1 COAT), VERIFY WITH L.L.
- PROVIDE PAINTED METAL ACCESS PANELS IN WALLS AND CEILING AT CONCEALED ITEMS SUCH AS VALVES, SHOCK ABSORBERS, CONTROLS, SWITCHES, ETC. AND OTHERWISE PROVIDED.
- GENERAL CONTRACTOR SHALL VERIFY GOVERNMENTAL REQUIREMENTS PRIOR TO BID AND INCLUDE IN BID ALL COSTS ASSOCIATED WITH FIRE ALARM SYSTEM INCLUDING AUDIOVISUAL DEVICES AND PULL STATIONS WHERE REQUIRED.
- IT IS THE GENERAL CONTRACTOR'S RESPONSIBILITY TO COORDINATE, LOCATE AND CONFIRM ALL FLOOR SINK, UNDERGROUND/OVERHEAD PLUMBING AND ELECTRICAL STUB-UPS.
- ALL FINISHES AND FINISH MATERIALS, COLOR OR TEXTURES SHALL BE VERIFIED BY OWNER PRIOR TO INSTALLATION, FABRICATION OR ORDERING.
- THE GENERAL CONTRACTOR SHALL INCLUDE IN HIS BID THE HIGHEST QUALITY AND GREATEST QUANTITY FOR THE PURPOSE OF RESOLVING ANY CONFLICTS IN THE CONSTRUCTION DOCUMENTS WHICH ARE IMPLIED OR UNDEFINED.
- NOT USED.
- GENERAL CONTRACTOR TO CAULK AND SEAL ALL EXPANSION AND SAW CUT JOINTS AT ALL EXTERIOR/INTERIOR CONCRETE.
- ALL ITEMS SUCH AS LIGHT SWITCHES, FIRE EXTINGUISHERS, FIRE ALARM PULLS AND OTHER ITEMS TO BE LOCATED AS CLOSE AS POSSIBLE TO THE ADJACENT DOOR FRAME.
- NOT USED.
- GENERAL CONTRACTOR WILL FURNISH AND INSTALL ONE (1) 5 LBS. MULTIPURPOSE DRY CHEMICAL (2A / 10BC) RATED FIRE EXTINGUISHER WITH MOUNTING BRACKETS AND ACCESSORIES AT 4'-0" A.F.F. AT EACH TENANT SPACE AS REQUIRED BY GOVERNMENTAL AUTHORITIES. MAX. TRAVEL DISTANCE OF 75'-0" FOR PLACEMENT.

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CONSULTANTS

LANDLORD/ OWNER:

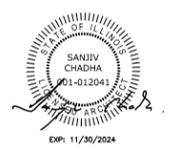
**STERLING ORGANIZATION**  
302 DATURA STREET, SUITE 100  
WEST PALM BEACH, FLORIDA 33401  
C: 224.770.7788

LANDLORD WORK

**RED TOP PLAZA  
SPACE#1366**

1366 S MILWAUKEE AVENUE  
LIBERTYVILLE, ILLINOIS 60048

NO.	DESCRIPTION	DATE
2	PERMIT CORRECTIONS	1/09/2025
1	ISSUED FOR PERMIT	10/23/2024
NO.	DESCRIPTION	DATE



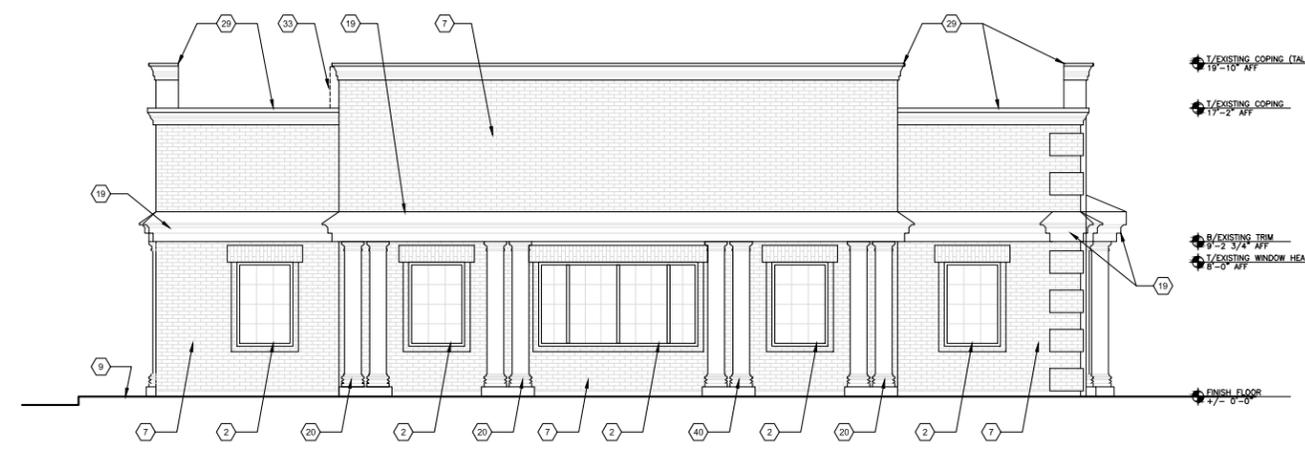
SHEET TITLE

**EXTERIOR ELEVATIONS**

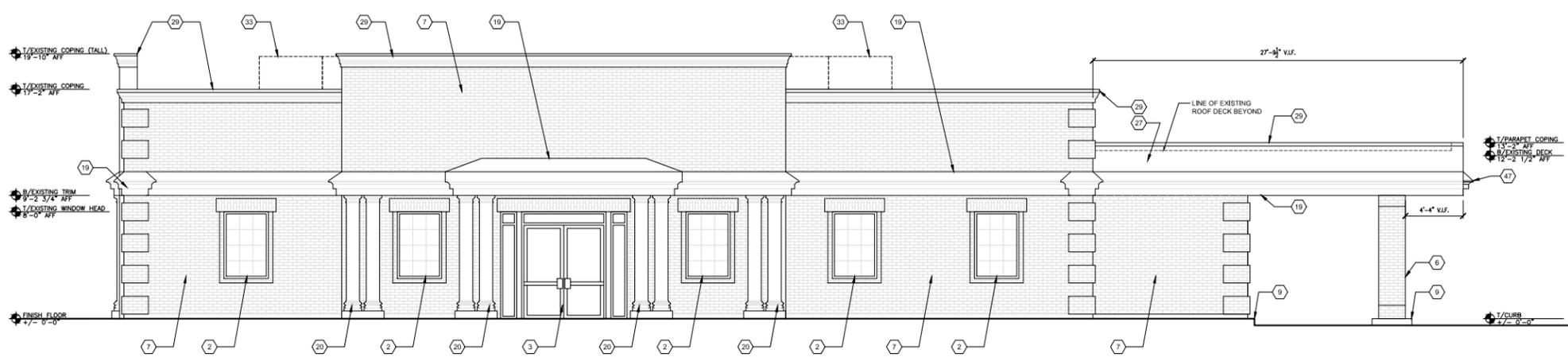
SHEET NO.

**A2.1**

NWS JOB NO. 24-0077



**2 EXTERIOR ELEVATION**  
SCALE: 1/4" = 1'-0"



**1 EXTERIOR ELEVATION**  
SCALE: 1/4" = 1'-0"



CONSULTANTS

LANDLORD/ OWNER:

**STERLING ORGANIZATION**

302 DATURA STREET, SUITE 100  
WEST PALM BEACH, FLORIDA 33401  
C: 224.770.7788

**LANDLORD WORK**

**RED TOP PLAZA SPACE#1366**

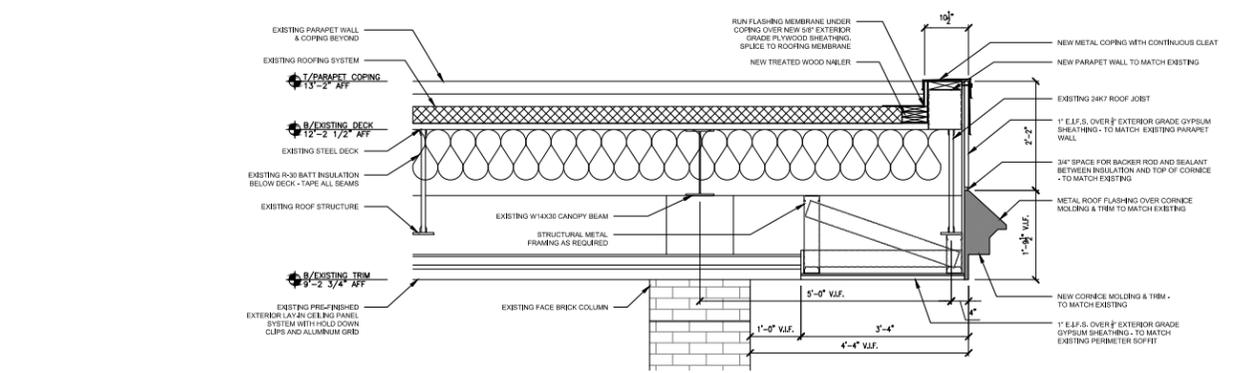
1366 S MILWAUKEE AVENUE  
LIBERTYVILLE, ILLINOIS 60048

**CONSTRUCTION KEY NOTES**

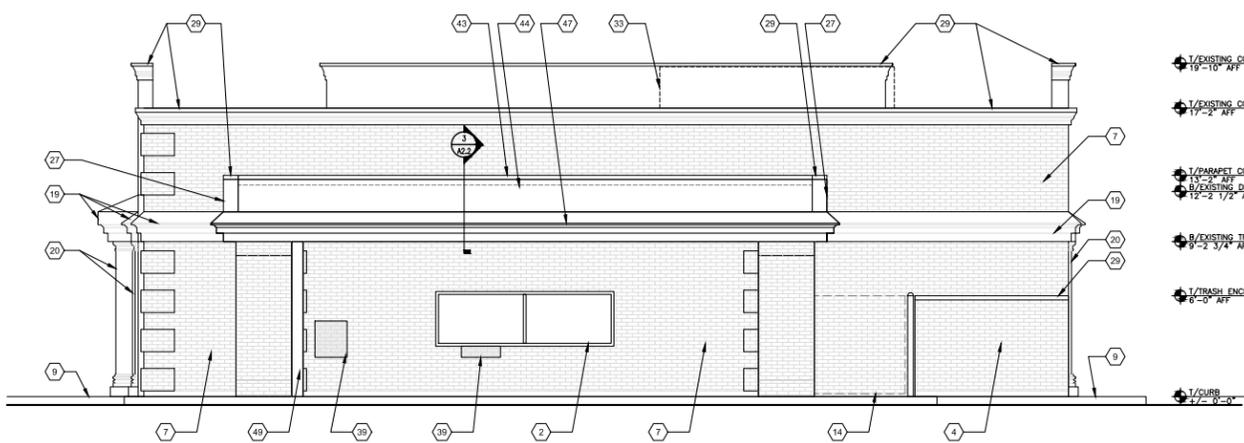
1. NOT USED.
2. EXISTING WINDOW, FRAME AND HARDWARE TO REMAIN.
3. EXISTING DOOR, FRAME AND HARDWARE TO REMAIN.
4. EXISTING TRASH ENCLOSURE TO REMAIN, PATCH AND REPAIR AS REQUIRED.
5. NOT USED.
6. EXISTING BUILDING STRUCTURAL COLUMN, CONCRETE FOUNDATION PIER, FOOTING, AND PERIMETER SLAB TO REMAIN.
7. EXISTING PERIMETER WALL AND STEEL SUPPORT STRUCTURE TO REMAIN, PATCH AND REPAIR AS REQUIRED.
8. EXISTING LANDSCAPING, COLUMN/STRELS TO REMAIN, SEE A0.1 FOR MORE INFORMATION.
9. EXISTING CURB/SIDEWALK TO REMAIN, PATCH AS REQUIRED TO MATCH ADJACENT. SEE A0.1 FOR MORE INFORMATION.
10. EXISTING SPRINKLER SYSTEM TO REMAIN.
11. NOT USED.
12. EXISTING GAS SERVICES/METER TO REMAIN.
13. EXISTING WATER SERVICES/METER TO REMAIN.
14. EXISTING TRANSFORMER TO REMAIN.
15. EXISTING ELECTRICAL SERVICE/METER TO REMAIN.
16. EXISTING ELECTRICAL SERVICE/METER TO REMAIN.
17. EXISTING ELECTRICAL PANEL TO REMAIN.
18. EXISTING SPRINKLER RISER TO REMAIN.
19. EXISTING CORNICE/OVERHANG/PROJECTION TO REMAIN, PATCH AND REPAIR AS REQUIRED.
20. EXISTING DECORATIVE COLUMN TO REMAIN, PATCH AND REPAIR AS REQUIRED.
21. EXISTING CONCRETE PAD TO REMAIN.
22. NOT USED.
23. EXISTING MAIN UNDERGROUND CABLE TO REMAIN.
24. EXISTING FIRE ALARM CONTROL PANEL TO REMAIN.
25. EXISTING FIRE DEPARTMENT CONNECTION TO REMAIN.
26. EXISTING ROOFING SYSTEM TO REMAIN, PATCH AS NEEDED TO MATCH EXISTING.
27. EXISTING PARAPET WALL TO REMAIN, PATCH AND REPAIR AS REQUIRED.
28. EXISTING ROOF HATCH TO REMAIN, NO WORK.
29. EXISTING WALL COPING TO REMAIN.
30. EXISTING ROOF OVERFLOW TO REMAIN.
31. EXISTING ROOF DRAIN TO REMAIN.
32. EXISTING UNIVERSAL MECHANICAL CURB TO REMAIN. THE CURB TO BE USED FOR NEW ROOF TOP UNIT BY LL.
33. EXISTING MECHANICAL SCREEN TO REMAIN.
34. EXISTING SUSPENDED CEILING SYSTEM TO REMAIN INCLUDING ASSOCIATED CEILING FIXTURES.
35. EXISTING CEILING CONSTRUCTION, INCLUDING GYPSUM BOARD SOFFITS AND ASSOCIATED CEILING FIXTURES TO REMAIN.
36. EXISTING LIGHT FIXTURE TO REMAIN.
37. NOT USED.
38. NOT USED.
39. NEW EXTERIOR WALL INFILL TO MATCH EXISTING CONSTRUCTION AT REMOVED EXISTING BUILDING ITEM.
40. NOT USED.
41. NOT USED.
42. NEW 7.5 TON OF HVAC ROOFTOP UNIT IN PLACE OF EXISTING BY LL.
43. NEW PREFABRICATED ALUMINUM COPING, PROVIDED & INSTALLED BY G.C. COLOR TO MATCH TRIM COLOR.
44. NEW PARAPET WALL: SEE DETAIL 3/A2.2.
45. REMOVE CRICKET TO PROVIDE DRAINAGE DUE TO PARTIAL CANOPY DEMOLITION.
46. NOT USED.
47. NEW CORNICE/OVERHANG/PROJECTION TO MATCH EXISTING. SEE DETAIL 3/A2.2.
48. EXISTING ROOF DRAIN TO REMAIN.
49. EXISTING DOWNSPOUT TO REMAIN.
50. NEW DRYWALL SOFFIT CONSTRUCTION TO MATCH EXISTING. SEE DETAIL 3/A2.2.
51. NEW ASPHALT PAVEMENT DUE TO CONCRETE SLAB AND DRIVE-THROUGH CURBS REMOVAL. ASPHALT PAVEMENT TO MATCH EXISTING. SEE A0.1 FOR MORE INFORMATION.

**GENERAL CONSTRUCTION NOTES**

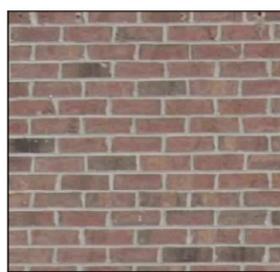
1. ALL GLAZED DOORS, AND ANY GLAZED PANEL MORE THAN 18" IN WIDTH IMMEDIATELY ADJACENT TO ANY DOOR WHEREIN THE SILL OF SUCH GLAZED PANEL IS LESS THAN 24" ABOVE THE FLOOR SHALL BE CONSIDERED "HAZARDOUS LOCATIONS" AND SHALL BE GLAZED WITH SAFETY GLAZING MATERIALS.
2. ALL ROUGH CARPENTRY TO BE EXTERIOR GRADE AND FIRE-RETARDANT TREATED IN ACCORDANCE WITH LOCAL CODES.
3. PARTITIONS ARE TO BE MARKED ON THE FLOOR FOR OWNER REP'S APPROVAL PRIOR TO INSTALLATION.
4. ALL DRYWALL JOINTS AND CORNERS TO BE TAPED, FILLED AND SANDED SMOOTH IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS.
5. THE CONTRACTOR SHALL REMOVE FROM TIME TO TIME AS DIRECTED, ALL RUBBISH AND DEBRIS AND UPON COMPLETION REMOVE ALL EQUIPMENT AND PERFORM FINAL CLEANING AS MAY BE NECESSARY TO LEAVE THE JOB READY FOR OCCUPANCY. G.C. SHALL DAILY REMOVE FROM THE SITE ALL COMBUSTIBLE BUILDING REFUSE INCLUDING BROKEN FORMS, SCRAP LUMBER, PAPER, ETC. ALL PACKING CASES, CRATES AND CARTONS IN WHICH CONSTRUCTION MATERIALS HAVE BEEN DELIVERED SHALL BE REMOVED IMMEDIATELY. THE BURNING OF REFUSE WILL NOT BE PERMITTED.
6. CONTRACTOR TO PROVIDE MIN. 16 GA. BACKING STUDS AND/OR CONTINUOUS 1/4" GA. WIDE BACKING PLATE IN WALLS AND CEILING AS SHOWN FOR SUPPORT/BLOCKING OF MILLWORK, EQUIPMENT, SHELVING, ETC.
7. DOORS USED IN CONNECTION WITH EXITS SHALL BE SO ARRANGED AS TO REMAIN UNOBTURATED AND READY FOR OPERATIONAL WITHOUT THE USE OF A KEY OR ANY SPECIAL KNOWLEDGE FROM WHICH EGRESS IS MADE.
8. G.C. TO ENSURE THE FIRE SAFETY MATERIAL ON STRUCTURAL MEMBERS ARE TO REMAIN INTACT AND UNALTERED DURING CONSTRUCTION. REPLACE AND REPAIR WITH EQUIVALENT FIRE SAFETY MATERIAL IF DAMAGED DURING CONSTRUCTION.
9. G.C. SHALL PRIME ALL GYPSUM BOARD WALLS WITHIN THE LEASED PREMISES. ALL WALLS TO BE PRIMED (1 COAT), VERIFY WITH LL.
10. PROVIDE PAINTED METAL ACCESS PANELS IN WALLS AND CEILING AT CONCEALED ITEMS SUCH AS VALVES, SHOCK ABSORBERS, CONTROLS, SWITCHES, ETC. AND OTHERWISE PROVIDED.
11. GENERAL CONTRACTOR SHALL VERIFY GOVERNMENTAL REQUIREMENTS PRIOR TO BID AND INCLUDE IN BID ALL COSTS ASSOCIATED WITH FIRE ALARM SYSTEM INCLUDING AUDIOVISUAL DEVICES AND PULL STATIONS WHERE REQUIRED.
12. IT IS THE GENERAL CONTRACTOR'S RESPONSIBILITY TO COORDINATE, LOCATE AND CONFIRM ALL FLOOR SINK, UNDERGROUND/OVERHEAD PLUMBING AND ELECTRICAL STUB-UPS.
13. ALL FINISHES AND FINISH MATERIALS, COLOR OR TEXTURES SHALL BE VERIFIED BY OWNER PRIOR TO INSTALLATION, FABRICATION OR ORDERING.
14. THE GENERAL CONTRACTOR SHALL INCLUDE IN HIS BID THE HIGHEST QUALITY AND GREATEST QUANTITY FOR THE PURPOSE OF RESOLVING ANY CONFLICTS IN THE CONSTRUCTION DOCUMENTS WHICH ARE IMPLIED OR UNDEFINED.
15. NOT USED.
16. GENERAL CONTRACTOR TO CAULK AND SEAL ALL EXPANSION AND SAW CUT JOINTS AT ALL EXTERIOR/INTERIOR CONCRETE.
17. ALL ITEMS SUCH AS LIGHT SWITCHES, FIRE EXTINGUISHERS, FIRE ALARM PULLS AND OTHER ITEMS TO BE LOCATED AS CLOSE AS POSSIBLE TO THE ADJACENT DOOR FRAME.
18. NOT USED.
19. GENERAL CONTRACTOR WILL FURNISH AND INSTALL ONE (1) 5 LBS. MULTIPURPOSE DRY CHEMICAL (2A / 10BC) RATED FIRE EXTINGUISHER WITH MOUNTING BRACKETS AND ACCESSORIES AT 4'-0" A.F.F. AT EACH TENANT SPACE AS REQUIRED BY GOVERNMENTAL AUTHORITIES. MAX. TRAVEL DISTANCE OF 75'-0" FOR PLACEMENT.



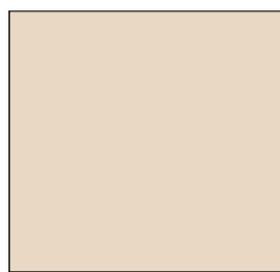
**3 DETAIL**  
SCALE: 3/4" = 1'-0"



**2 EXTERIOR ELEVATION**  
SCALE: 1/4" = 1'-0"

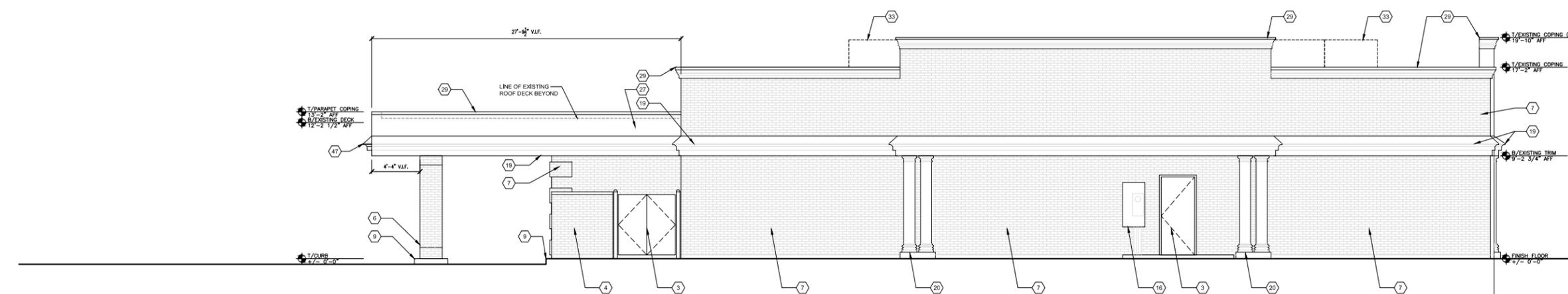


EXISTING BRICK WALL



EXISTING BEIGE EIFS WALL FINISH

**4 MATERIAL SCHEME**  
SCALE: NTS



**1 EXTERIOR ELEVATION**  
SCALE: 1/4" = 1'-0"

NO.	DESCRIPTION	DATE
2	PERMIT CORRECTIONS	1/09/2025
1	ISSUED FOR PERMIT	10/23/2024



SHEET TITLE  
**EXTERIOR ELEVATIONS**

SHEET NO.  
**A2.2**  
NWS JOB NO. 24-0077



3  
A2.3  
EXISTING  
EXTERIOR ELEVATION  
SCALE: 1/4" = 1'-0"



4  
A2.3  
MODIFIED  
EXTERIOR ELEVATION  
SCALE: 1/4" = 1'-0"



5  
A2.3  
MODIFIED FRONT  
EXTERIOR ELEVATION  
SCALE: 1/4" = 1'-0"

CONSTRUCTION KEY NOTES

1. NOT USED.
2. EXISTING WINDOW, FRAME AND HARDWARE TO REMAIN.
3. EXISTING DOOR, FRAME AND HARDWARE TO REMAIN.
4. EXISTING TRASH ENCLOSURE TO REMAIN, PATCH AND REPAIR AS REQUIRED.
5. NOT USED.
6. EXISTING BUILDING STRUCTURAL COLUMN, CONCRETE FOUNDATION PIER, FOOTING, AND PERIMETER SLAB TO REMAIN.
7. EXISTING PERIMETER WALL AND STEEL SUPPORT STRUCTURE TO REMAIN, PATCH AND REPAIR AS REQUIRED.
8. EXISTING LANDSCAPING, COLUMN/TRELLIS TO REMAIN, SEE A0.1 FOR MORE INFORMATION.
9. EXISTING CURB/SIDEWALK TO REMAIN, PATCH AS REQUIRED TO MATCH ADJACENT. SEE A0.1 FOR MORE INFORMATION.
10. EXISTING SPRINKLER SYSTEM TO REMAIN.
11. NOT USED.
12. EXISTING GAS SERVICES/METER TO REMAIN.
13. EXISTING WATER SERVICES/METER TO REMAIN.
14. EXISTING TRANSFORMER TO REMAIN.
15. EXISTING WATER VALVE TO REMAIN.
16. EXISTING ELECTRICAL SERVICE/METER TO REMAIN.
17. EXISTING ELECTRICAL PANEL TO REMAIN.
18. EXISTING SPRINKLER RESET TO REMAIN.
19. EXISTING CORNICE/OVERHANG/PROJECTION TO REMAIN, PATCH AND REPAIR AS REQUIRED.
20. EXISTING DECORATIVE COLUMN TO REMAIN, PATCH AND REPAIR AS REQUIRED.
21. EXISTING CONCRETE PAD TO REMAIN.
22. NOT USED.
23. EXISTING AT&T UNDERGROUND CABLE TO REMAIN.
24. EXISTING FIRE ALARM CONTROL PANEL TO REMAIN.
25. EXISTING FIRE DEPARTMENT CONNECTION TO REMAIN.
26. EXISTING ROOFING SYSTEM TO REMAIN, PATCH AS NEEDED TO MATCH EXISTING.
27. EXISTING PARAPET WALL TO REMAIN, PATCH AND REPAIR AS REQUIRED.
28. EXISTING ROOF HATCH TO REMAIN, NO WORK.
29. EXISTING WALL COPING TO REMAIN.
30. EXISTING ROOF OVERFLOW TO REMAIN.
31. EXISTING ROOF DRAIN TO REMAIN.
32. EXISTING UNIVERSAL MECHANICAL CURB TO REMAIN, THE CURB TO BE USED FOR NEW ROOF TOP UNIT BY LL.
33. EXISTING MECHANICAL SCREEN TO REMAIN.
34. EXISTING SUSPENDED CEILING SYSTEM TO REMAIN INCLUDING ASSOCIATED CEILING FIXTURES.
35. EXISTING CEILING CONSTRUCTION, INCLUDING GYPSUM BOARD SOFFITS AND ASSOCIATED CEILING FIXTURES TO REMAIN.
36. EXISTING LIGHT FIXTURE TO REMAIN.
37. NOT USED.
38. NOT USED.
39. NEW EXTERIOR WALL INFILL TO MATCH EXISTING CONSTRUCTION AT REMOVED EXISTING BUILDING ITEM.
40. NOT USED.
41. NOT USED.
42. NEW 2.5 TON OF HVAC ROOFTOP UNIT IN PLACE OF EXISTING BY LL.
43. NEW PREFABRICATED ALUMINUM COPING, PROVIDED & INSTALLED BY G.C. COLOR TO MATCH TRIM COLOR.
44. NEW PARAPET WALL, SEE DETAIL 3/A2.2.
45. RENOVOR ORNICET TO PROVIDE DRAINAGE DUE TO PARTIAL CANOPY DEMOLITION.
46. NOT USED.
47. NEW CORNICE/OVERHANG/PROJECTION TO MATCH EXISTING, SEE DETAIL 3/A2.2.
48. EXISTING ROOF DRAIN TO REMAIN.
49. EXISTING DOWNSPOUT TO REMAIN.
50. NEW BRIVALL SCOTT CONSTRUCTION TO MATCH EXISTING, SEE DETAIL 3/A2.2.
51. NEW ASPHALT PAVEMENT DUE TO CONCRETE SLAB AND DRIVE-THROUGH CURBS REMOVAL, ASPHALT PAVEMENT TO MATCH EXISTING, SEE A0.1 FOR MORE INFORMATION.

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LANDLORD/ OWNER:

STERLING  
ORGANIZATION

302 DATURA STREET, SUITE 100  
WEST PALM BEACH, FLORIDA 33401  
C: 224.770.7788

LANDLORD WORK

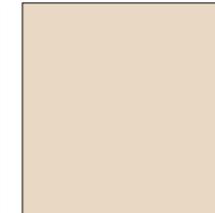
RED TOP PLAZA  
SPACE#1366

1366 S MILWAUKEE AVENUE  
LIBERTYVILLE, ILLINOIS 60048

MATERIAL SWATCHES



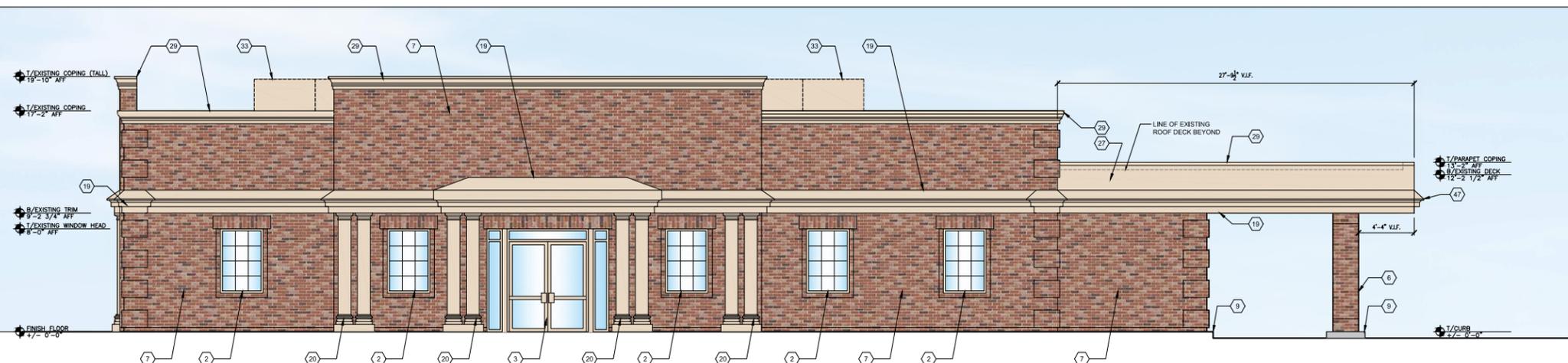
EXISTING BRICK  
WALL



EXISTING BEIGE  
EIFS WALL FINISH



2  
A2.3  
EXTERIOR  
COLOR ELEVATION  
SCALE: 1/4" = 1'-0"



1  
A2.3  
EXTERIOR  
COLOR ELEVATION  
SCALE: 1/4" = 1'-0"

NO.	DESCRIPTION	DATE
2	PERMIT CORRECTIONS	1/09/2025
1	ISSUED FOR PERMIT	10/23/2024



EXP: 11/30/2024

SHEET TITLE

EXTERIOR  
COLOR  
ELEVATIONS

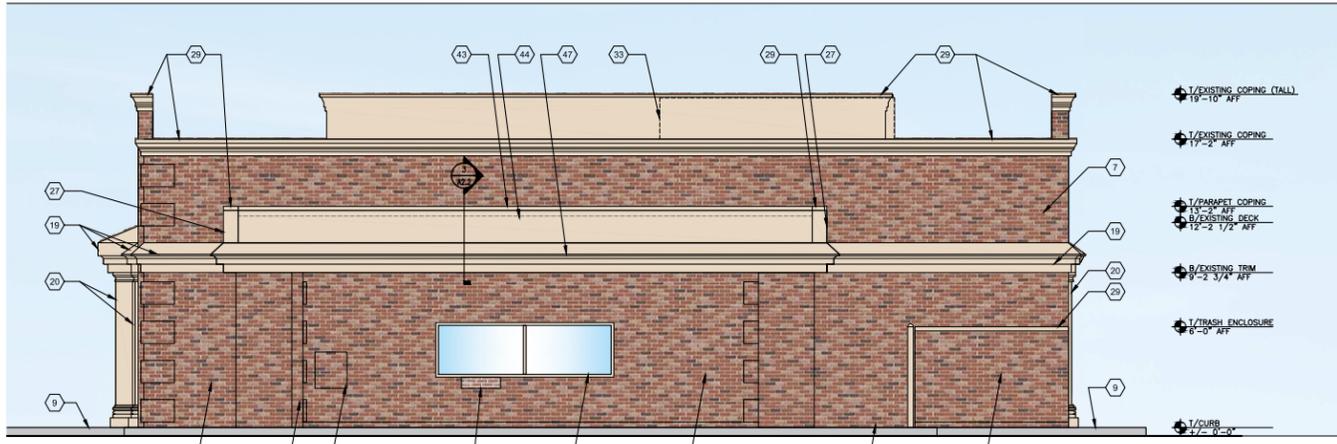
SHEET NO.

A2.3

NWS JOB NO. 24-0077

CONSTRUCTION KEY NOTES

1. NOT USED.
2. EXISTING WINDOW, FRAME AND HARDWARE TO REMAIN.
3. EXISTING DOOR, FRAME AND HARDWARE TO REMAIN.
4. EXISTING TRASH ENCLOSURE TO REMAIN, PATCH AND REPAIR AS REQUIRED.
5. NOT USED.
6. EXISTING BUILDING STRUCTURAL COLUMN, CONCRETE FOUNDATION PIER, FOOTING, AND PERIMETER SLAB TO REMAIN.
7. EXISTING PERIMETER WALL AND STEEL SUPPORT STRUCTURE TO REMAIN, PATCH AND REPAIR AS REQUIRED.
8. EXISTING LANDSCAPING, COLUMN/TRELIS TO REMAIN, SEE A2.1 FOR MORE INFORMATION.
9. EXISTING CURB/SIDEWALK TO REMAIN, PATCH AS REQUIRED TO MATCH ADJACENT. SEE A2.1 FOR MORE INFORMATION.
10. EXISTING SPRINKLER SYSTEM TO REMAIN.
11. NOT USED.
12. EXISTING GAS SERVICES/METER TO REMAIN.
13. EXISTING WATER SERVICES/METER TO REMAIN.
14. EXISTING TRANSFORMER TO REMAIN.
15. EXISTING WATER VALVE TO REMAIN.
16. EXISTING ELECTRICAL SERVICE/METER TO REMAIN.
17. EXISTING ELECTRICAL PANEL TO REMAIN.
18. EXISTING SPRINKLER RISER TO REMAIN.
19. EXISTING CORNICE/OVERHANG/PROJECTION TO REMAIN, PATCH AND REPAIR AS REQUIRED.
20. EXISTING DECORATIVE COLUMN TO REMAIN, PATCH AND REPAIR AS REQUIRED.
21. EXISTING CONCRETE PAD TO REMAIN.
22. NOT USED.
23. EXISTING FLAT UNDERGROUND CABLE TO REMAIN.
24. EXISTING FIRE ALARM CONTROL PANEL TO REMAIN.
25. EXISTING FIRE DEPARTMENT CONNECTION TO REMAIN.
26. EXISTING ROOFING SYSTEM TO REMAIN, PATCH AS NEEDED TO MATCH EXISTING.
27. EXISTING PARAPET WALL TO REMAIN, PATCH AND REPAIR AS REQUIRED.
28. EXISTING ROOF HATCH TO REMAIN, NO WORK.
29. EXISTING WALL COPING TO REMAIN.
30. EXISTING ROOF OVERFLOW TO REMAIN.
31. EXISTING ROOF DRAIN TO REMAIN.
32. EXISTING UNIVERSAL MECHANICAL CURB TO REMAIN. THE CURB TO BE USED FOR NEW ROOF TOP UNIT BY LL.
33. EXISTING MECHANICAL SCREEN TO REMAIN.
34. EXISTING SUSPENDED CEILING SYSTEM TO REMAIN INCLUDING ASSOCIATED CEILING FIXTURES.
35. EXISTING CEILING CONSTRUCTION, INCLUDING GYPSUM BOARD SOFFITS AND ASSOCIATED CEILING FIXTURES TO REMAIN.
36. EXISTING LIGHT FIXTURE TO REMAIN.
37. NOT USED.
38. NOT USED.
39. NEW EXTERIOR WALL INFILL TO MATCH EXISTING CONSTRUCTION AT REMOVED EXISTING BUILDING ITEM.
40. NOT USED.
41. NOT USED.
42. NEW 7.5 TON OF HVAC ROOFTOP UNIT IN PLACE OF EXISTING BY LL.
43. NEW PREFABRICATED ALUMINUM COPING, PROVIDED & INSTALLED BY G.C. COLOR TO MATCH TRIM COLOR.
44. NEW PARAPET WALL, SEE DETAIL 3/A2.2.
45. REMOVE CRICKET TO PROVIDE DRAINAGE DUE TO PARTIAL CANOPY DEMOLITION.
46. NOT USED.
47. NEW CORNICE/OVERHANG/PROJECTION TO MATCH EXISTING. SEE DETAIL 3/A2.2.
48. EXISTING ROOF DRAIN TO REMAIN.
49. EXISTING DOWNSPOUT TO REMAIN.
50. NEW DRYWALL SOFFIT CONSTRUCTION TO MATCH EXISTING. SEE DETAIL 3/A2.2.
51. NEW ASPHALT PAVEMENT DUE TO CONCRETE SLAB AND DRIVE-THROUGH CURBS REMOVAL. ASPHALT PAVEMENT TO MATCH EXISTING. SEE A2.1 FOR MORE INFORMATION.



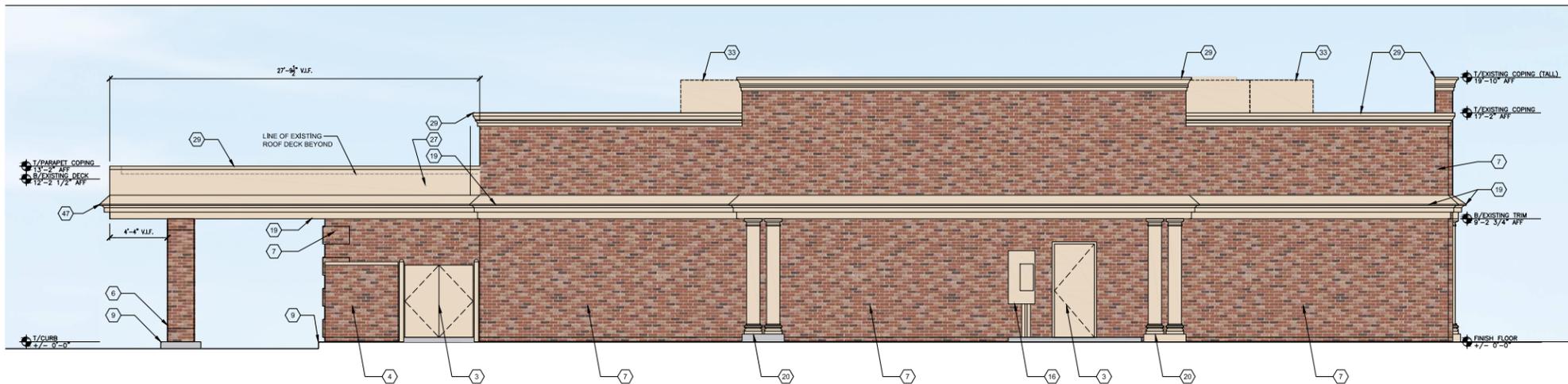
2  
A2.4  
EXTERIOR COLOR ELEVATION  
SCALE: 1/4" = 1'-0"

MATERIAL SWATCHES



EXISTING BRICK WALL

EXISTING BEIGE EIFS WALL FINISH



2  
A2.4  
EXTERIOR COLOR ELEVATION  
SCALE: 1/4" = 1'-0"



230 WEST MONROE STREET SUITE 1550 CHICAGO ILLINOIS 60606  
T 312.332.2062 | www.nwsarchitects.com | F 312.332.8994

CONSULTANTS

LANDLORD/ OWNER:

STERLING ORGANIZATION

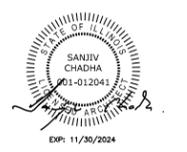
302 DATURA STREET, SUITE 100  
WEST PALM BEACH, FLORIDA 33401  
C: 224.770.7788

LANDLORD WORK

RED TOP PLAZA  
SPACE#1366

1366 S MILWAUKEE AVENUE  
LIBERTYVILLE, ILLINOIS 60048

NO.	DESCRIPTION	DATE
2	PERMIT CORRECTIONS	1/09/2025
1	ISSUED FOR PERMIT	10/23/2024
NO.	DESCRIPTION	DATE



SHEET TITLE

EXTERIOR COLOR ELEVATIONS

SHEET NO.

A2.4