

CERTIFICATE OF APPROPRIATENESS APPLICATION

VILLAGE OF LIBERTYVILLE
COMMUNITY DEVELOPMENT DEPARTMENT
200 EAST COOK AVENUE
LIBERTYVILLE, IL 60048
(847) 918-2028
(847) 367-5148 (Fax)

DATE: 11/22/24



<u>REQUESTED ACTION(S) (check all that apply)</u>	
<u>X</u> Building Facades	<u>X</u> Lighting
<u> </u> Landscaping	<u>X</u> Signage
<u> </u> Other _____	

TO THE VILLAGE PRESIDENT, VILLAGE BOARD OF TRUSTEES AND THE HISTORIC PRESERVATION COMMISSION OF THE VILLAGE OF LIBERTYVILLE, LAKE COUNTY, ILLINOIS 60048.

The applicant(s) Stephen & Margo Burns represents that they are the OWNER X, AUTHORIZED AGENT _____ (please check correct term) of the property commonly known as: (street address) 114 E. Church Street, Libertyville, IL.

If someone other than the applicant(s) has the title to the property, please provide a written statement from the owner(s) which acknowledges and consents to this request.

The property is now classified under the Libertyville Zoning Code and is located in the C-1 District.

[Signature]
Applicant/Representative Signature

1318 Brandywine Rd Libertyville IL
Address of Applicant/Representative

(847) 372-8023
Phone Number

Sburns@medline.com
E-mail

NOTE! If several parties are involved with the project (i.e., architect, engineer, consultant, etc.), please attach a list including the names, addresses and phone numbers of such parties. This application must be complete before it will be accepted by the Village.

**VILLAGE OF LIBERTYVILLE
PROPERTY OWNER'S AUTHORIZATION
FOR HPC**

DATE: 2/5/2025

I, Stephen & Margo Burns, Owner of the
Property Owner

property located at 114 E. Church Street, Libertyville, IL, do hereby
Address/Location

authorize Neal Gerdes / AKL Architectural Services to represent me in the following
Authorized Agent

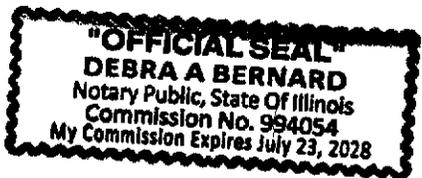
HPC matter(s), Historic Preservation Commission Meeting
Action(s)

in the Village of Libertyville.

Debra A Bernard
Notary Signature

S
Property Owner Signature

(SEAL)



Stephen Burns
Property Owner Name, Printed

1318 Brandywine Rd., Libertyville, IL
Address

(847) 372-8023
Phone Number

114 E. Church Street Narrative

114 E. Church Street has been known for years as the “Dan the Key Man” building, but it is currently vacant. The building looks dated, small, worn down, and not in keeping with the style, scale, finishes, color, or design of the surrounding buildings.



Steve and Margo Burns are seeking to remove this structure and create a new three-story brick building designed with the current Starbucks building located at School St. & Milwaukee as its inspiration.



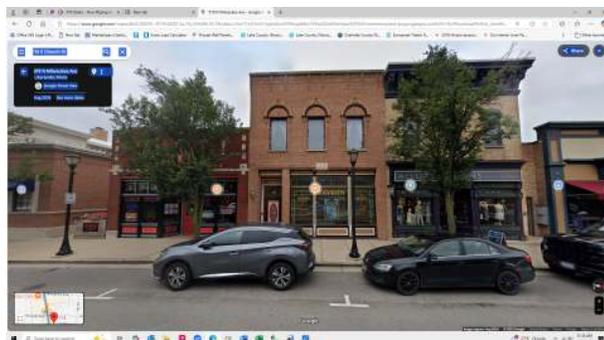
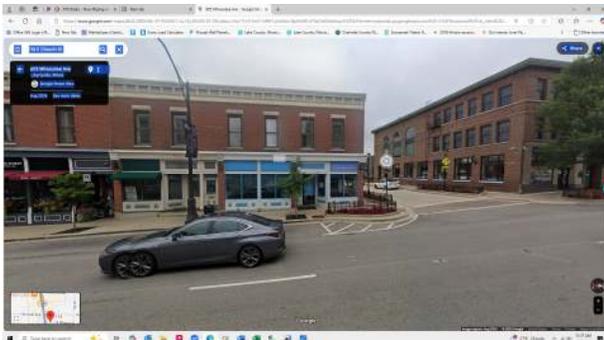


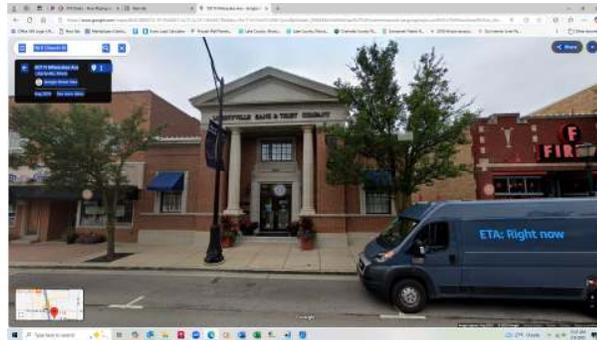
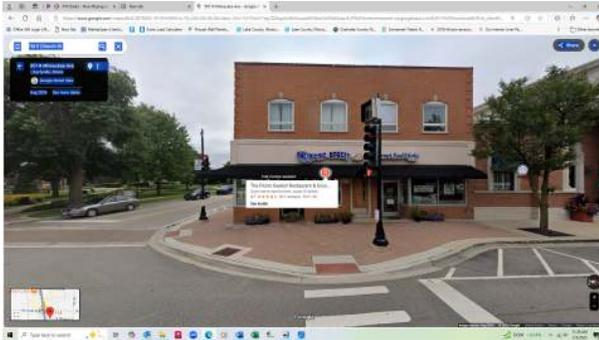
This new building will consist of a first floor commercial or retail space with residential units located on the second and third floors. 2 indoor and 2 outdoor parking spaces will be located at the back of the building, accessed through the alley on the west side of the building.



The building design was determined with the intent to keep the scale of the building from feeling too massive and, to that end, the street façade was broken vertically into two portions. Each of these portions was also broken into the common base, column, and capital relationships with added depth changes at the first floor at the west side (portico) and at the second floor of the east side (transition to bay window). Horizontal brick and limestone banding was added to again help break the height of this structure into manageable portions.

Materials have been selected to be similar to several downtown buildings and will be a new Chicago common brick, copper downspouts, limestone copings, sills, and details, white painted trim, and black aluminum windows & doors.

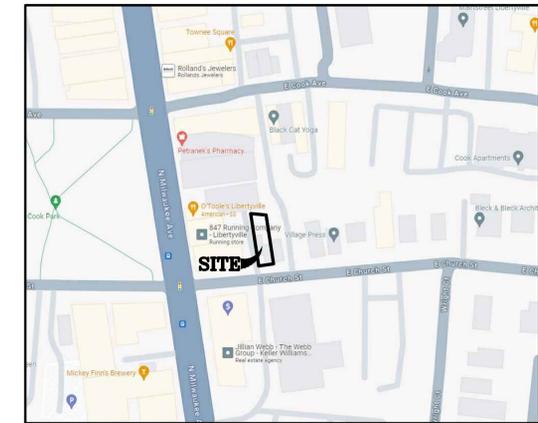




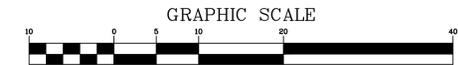
We feel this building replaces a structure that never fit into the design of downtown Libertyville, has captured the look and feel several nearby structures, and presents a beautiful complement to its neighbors in a way that can help lead commercial design direction for years to come.

BOUNDARY & TOPOGRAPHIC SURVEY

LOT 7 (EXCEPT THE EAST 20 FEET MEASURED ON THE NORTH-SOUTH LINES AND AT RIGHT ANGLES TO THE EAST-WEST LINES) IN HENRY S. HURLBUTT'S SUBDIVISION OF PART OF LOT 14 IN SCHOOL TRUSTEE'S SUBDIVISION OF SECTIONS 16, TOWNSHIP 44 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED JANUARY 7, 1905, AS DOCUMENT 97915, IN BOOK "C" OF PLATS, PAGE 6, IN LAKE COUNTY, ILLINOIS.



LOCATION MAP

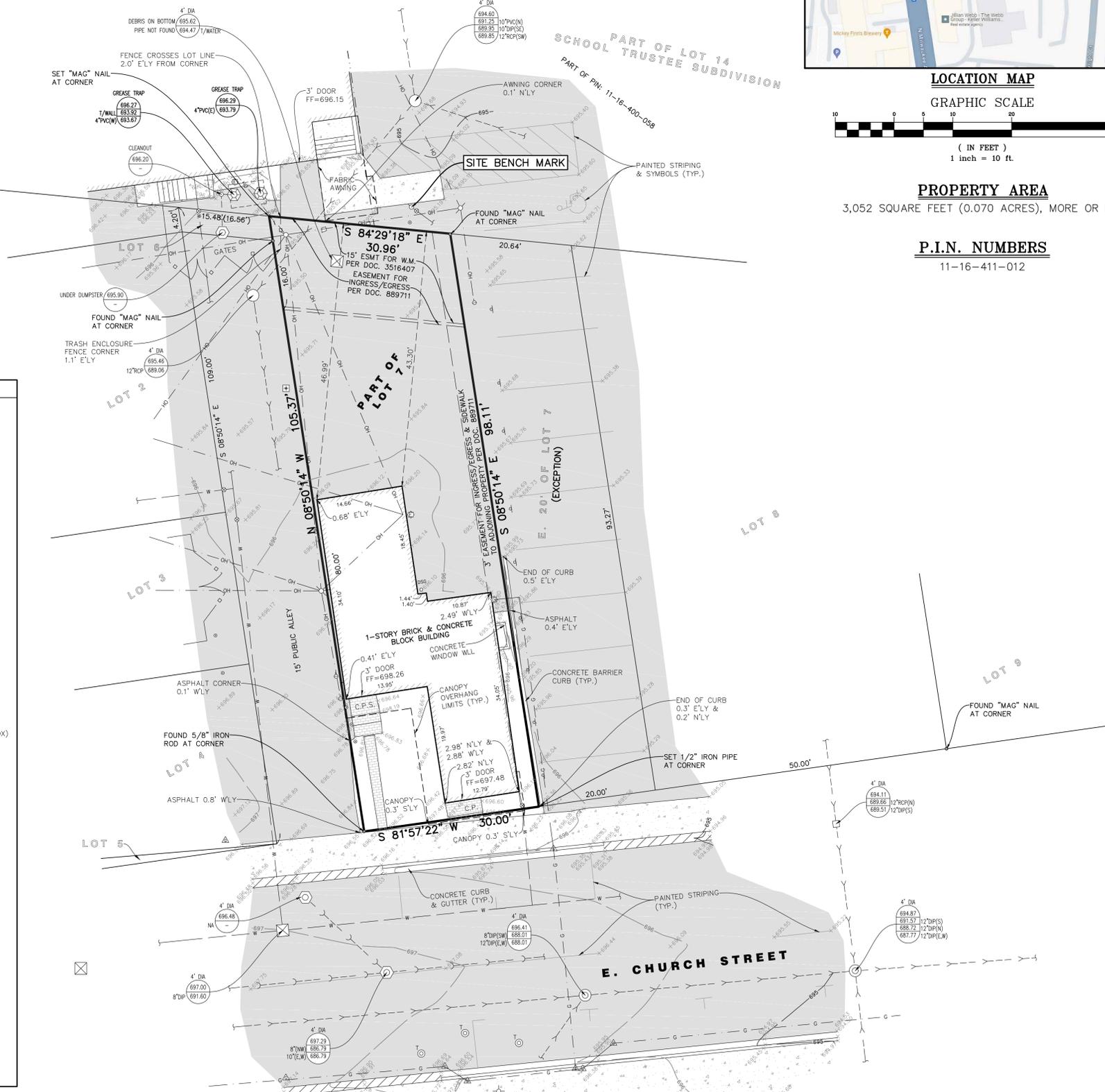
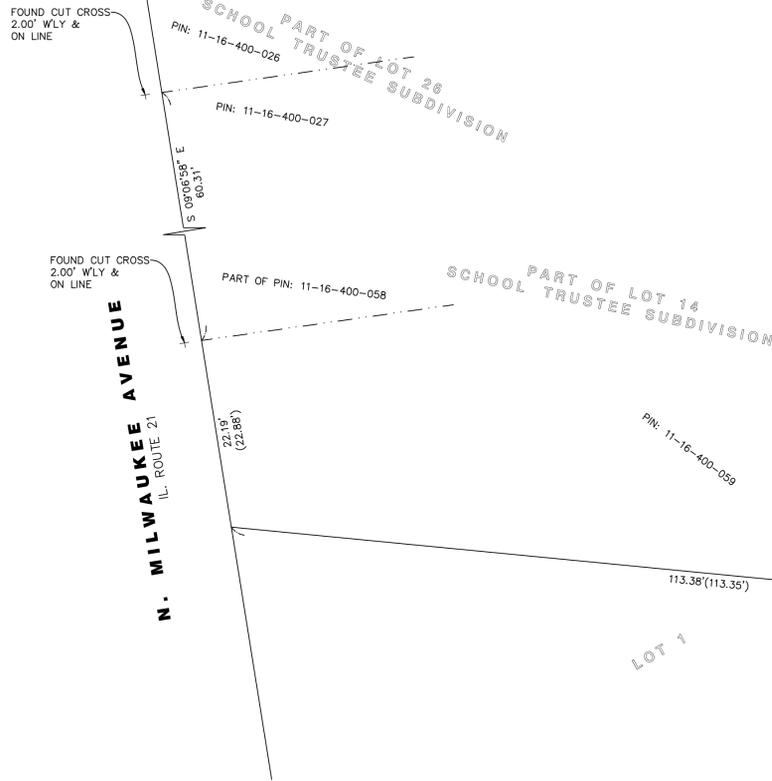


PROPERTY AREA

3,052 SQUARE FEET (0.070 ACRES), MORE OR LESS

P.I.N. NUMBERS

11-16-411-012



LEGEND	
50.00'	= MEASURED DIMENSION
(50.0')	= RECORD/DEED DIMENSION
NLY,WLY	= DIRECTION (ie NORTHERLY)
C.P.	= COVERED PORCH
C.P.S.	= COVERED PORCH W/STEPS
---	= DEED LINE
---	= DEPRESSED CURB
---	= WOOD FENCE
---	= STORM LINE
---	= PROPERTY LINE
---	= SANITARY LINE
---	= WATER MAIN LINE
---	= UNDERGROUND GAS LINE
---	= UNDERGROUND ELECTRICAL LINE
---	= UNDERGROUND TELECOM LINE
---	= OVERHEAD WIRES
780	= 1 FOOT CONTOURS
+	= SURVEY MONUMENT DRIVEN
+	= FOUND CUT CROSS
⊙	= MISCELLANEOUS MANHOLE (MH)
⊙	= STORM MANHOLE (STMH)
⊙	= STORM CATCH BASIN (CB)
⊙	= STORM INLET (NIL)
⊙	= DOWN SPOUT TO GRADE
⊙	= SANITARY MANHOLE (SMH)
⊙	= GREASE TRAP (GT)
⊙	= CLEANOUT
⊙	= FIRE HYDRANT W/AUX. VALVE
⊙	= VALVE BOX (VB)
⊙	= VALVE VAULT (VV)
⊙	= WATER SERVICE BUFFALO BOX (B-BOX)
⊙	= MONITORING WELL
⊙	= WATER MARKER
⊙	= GAS VALVE
⊙	= GAS METER
⊙	= JULIE GAS MARKER
⊙	= ELECTRICAL METER
⊙	= ELECTRICAL MANHOLE
⊙	= JULIE ELECTRIC MARKER
⊙	= TELECOM MANHOLE
⊙	= TELECOM MARKER
⊙	= UTILITY POLE
⊙	= GUY WIRE
⊙	= SIGN
⊙	= BOLLARD
⊙	= HANDICAPPED PARKING
⊙	= SPOT ELEVATION
756.00	= RIM ELEVATION
754.00	= INVERT ELEVATION
---	= BUILDING LIMITS
---	= ASPHALT PAVEMENT
---	= CONCRETE PAVEMENT
---	= BRICK PAVERS

Call 48 hours before you dig
(Excluding Sat., Sun. & Holidays)
1-800-892-0123

BENCH MARKS: (NAVD88)
SOURCE BENCH MARK:
NGS MONUMENT WITH PID DM3890 BEING AN FLANGE-ENCASED ROD. (SEE NGS DATA SHEET FOR A MORE DETAILED DESCRIPTION)
ELEVATION=687.34

SITE BENCH MARK:
TAG BOLT ON HYDRANT LOCATED 3.8' N'LY & 5.8' W'LY OF THE NORTHEAST PROPERTY CORNER.
ELEVATION=697.55

SURVEYOR'S NOTES

- THIS SURVEY WAS PREPARED FOR AKL ARCHITECTURAL SERVICES.
- NO EASEMENTS OR SETBACKS WERE CREATED BY THE FINAL PLAT OF SUBDIVISION; REFER TO CURRENT TITLE COMMITMENT, ZONING REGULATIONS OR OTHER DOCUMENTS FOR SETBACK, EASEMENT OR OTHER REQUIREMENTS NOT SHOWN HEREON, IF ANY.
- BUILDING TIES ARE SHOWN FROM OUTSIDE LIMITS OF BRICK AND CONCRETE BLOCK CONSTRUCTION.
- DISTANCES ARE MARKED IN U.S. SURVEY FEET. NO DIMENSION SHALL BE ASSUMED BY SCALE MEASUREMENT HEREON. DISTANCES AND/OR BEARINGS SHOWN IN PARENTHESES (456.67') ARE RECORD OR DEED VALUES, NOT FIELD MEASURED. BEARINGS ARE GEODETIC BASED ON FOUND MONUMENTATION LOCATED AND MEASURED USING TRIMBLE'S VIRTUAL REFERENCE SYSTEM (VRS) (NAD 83, ILLINOIS STATE PLANE, EAST ZONE).
- MANHOLES, INLETS, OTHER UTILITY RIMS OR GRATES, SHOWN HEREON ARE FROM FIELD LOCATION OF SUCH BASED ON LID MARKINGS, AND ONLY REPRESENT SUCH UTILITY IMPROVEMENTS WHICH ARE VISIBLE FROM ABOVE GROUND AT TIME OF SURVEY. THROUGH A NORMAL SEARCH AND WALK THROUGH OF THE SITE, UNDERGROUND UTILITY LINES EXIST BUT ARE NOT SHOWN HEREON AND OBSERVATIONS HAVE NOT BEEN MADE TO DETERMINE THE EXTENT OF UTILITIES SERVING OR EXISTING ON THE PROPERTY.
- ONLY THE IMPROVEMENTS WHICH WERE VISIBLE FROM ABOVE GROUND AT TIME OF SURVEY AND THROUGH A NORMAL SEARCH AND WALK THROUGH OF THE SITE ARE SHOWN ON THE FACE OF THIS PLAT. LAWN SPRINKLER SYSTEM HEADS, IF ANY, ARE NOT SHOWN ON THIS SURVEY.
- THIS SURVEY MAY NOT REFLECT ALL IMPROVEMENTS ON THE PROPERTY IF SUCH ITEMS WERE HIDDEN BY LANDSCAPING, FOLIAGE, EARTH, PAVEMENT, CONCRETE OR WERE COVERED BY SUCH ITEMS AS DUMPSTERS, PALETTES, STOCK MATERIALS, EQUIPMENT, TRAILERS OR OTHER OBJECTS.
- OTHER THAN VISIBLE OBSERVATIONS NOTED HEREON, THIS SURVEY MAKES NO STATEMENT REGARDING THE ACTUAL PRESENCE OR ABSENCE OF ANY SERVICE OR UTILITY LINE. USE OF UTILITY ATLAS RECORDS, IF ANY, AND/OR CONTROLLED UNDERGROUND EXPLORATORY EFFORTS, TOGETHER WITH UTILITY COMPANY LOCATE MARKINGS IS RECOMMENDED TO DETERMINE THE EXTENT OF UNDERGROUND SERVICE AND UTILITY LINES. CONTACT JURISDICTIONAL AGENCIES, JULIE, I.L.E., D.L.G.E.R. OR PRIVATE UTILITY LOCATING COMPANY FOR RECORDS OR SCHEDULING A LOCATE.
- THE LOCATION OF THE PROPERTY LINES SHOWN ON THE FACE OF THIS PLAT ARE BASED ON THE LEGAL DESCRIPTION AND INFORMATION PROVIDED BY THE CLIENT. THE PARCEL WHICH IS DEFINED MAY NOT REFLECT ACTUAL OWNERSHIP, BUT REFLECTS WHAT WAS SURVEYED. FOR OWNERSHIP, CONSULT YOUR TITLE COMPANY.
- COMPARE THIS PLAT, LEGAL DESCRIPTION AND ALL SURVEY MONUMENTS BEFORE BUILDING, AND IMMEDIATELY REPORT ANY DISCREPANCIES TO THE SURVEYOR.

SURVEYOR SIGNATURE AND SEAL
THIS PROFESSIONAL SERVICE CONFORMS TO THE CURRENT ILLINOIS MINIMUM STANDARDS FOR A BOUNDARY AND TOPOGRAPHIC SURVEY.

DATE SIGNED: NOVEMBER 7, 2024

Michael J. S. Wilk
3520
PROFESSIONAL
LAND
SURVEYOR
STATE OF
ILLINOIS
LIBERTYVILLE, ILLINOIS

ILLINOIS PROFESSIONAL LAND SURVEYOR NO. 035.003520
LICENSE EXPIRES NOVEMBER 30, 2024
DESIGN FIRM REGISTRATION NO. 184.005510
LICENSE EXPIRES APRIL 30, 2025
DATE OF FIELD WORK: JUNE 24, 2024

DATE	BY	DESCRIPTION
11/07/24		REMOVED TEMP. CONSTRUCTION EASEMENT
07/07/24		ADDED EASEMENT PER DOC. 889711
07/07/24		ADDED EASEMENT PER DOC. 889711

SCALE: 1"=10'
DATE: 07/15/24
CHECKED BY: M.S.U.
DRAWN BY: K.C.
SURVEYOR'S EMAIL: mikesu@sightonsolutions.com

"WE GET CORNERS OTHER PEOPLE CUT!"
LAND SURVEYING, TOPOGRAPHIC MAPPING, SITE STAKING,
SITE PLANS, GRADING PLANS, FEMA CERTIFICATES AND MORE
SIGHT ON SOLUTIONS, INC.
567 CAPITAL DRIVE, LAKE ZURICH, ILLINOIS 60047
PHONE: 847-356-7539 FAX: 815-578-9647 www.sightonsolutions.com

BOUNDARY & TOPOGRAPHIC SURVEY
112 E. CHURCH STREET
LIBERTYVILLE, ILLINOIS

SHEET
1 OF 1
SOS#: 24041

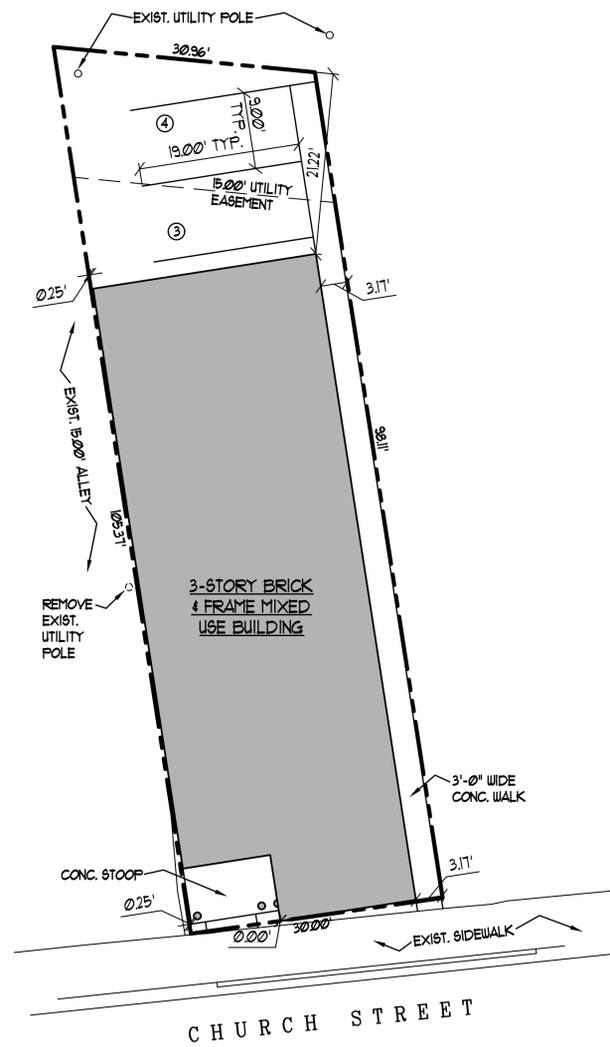


AKL architectural services

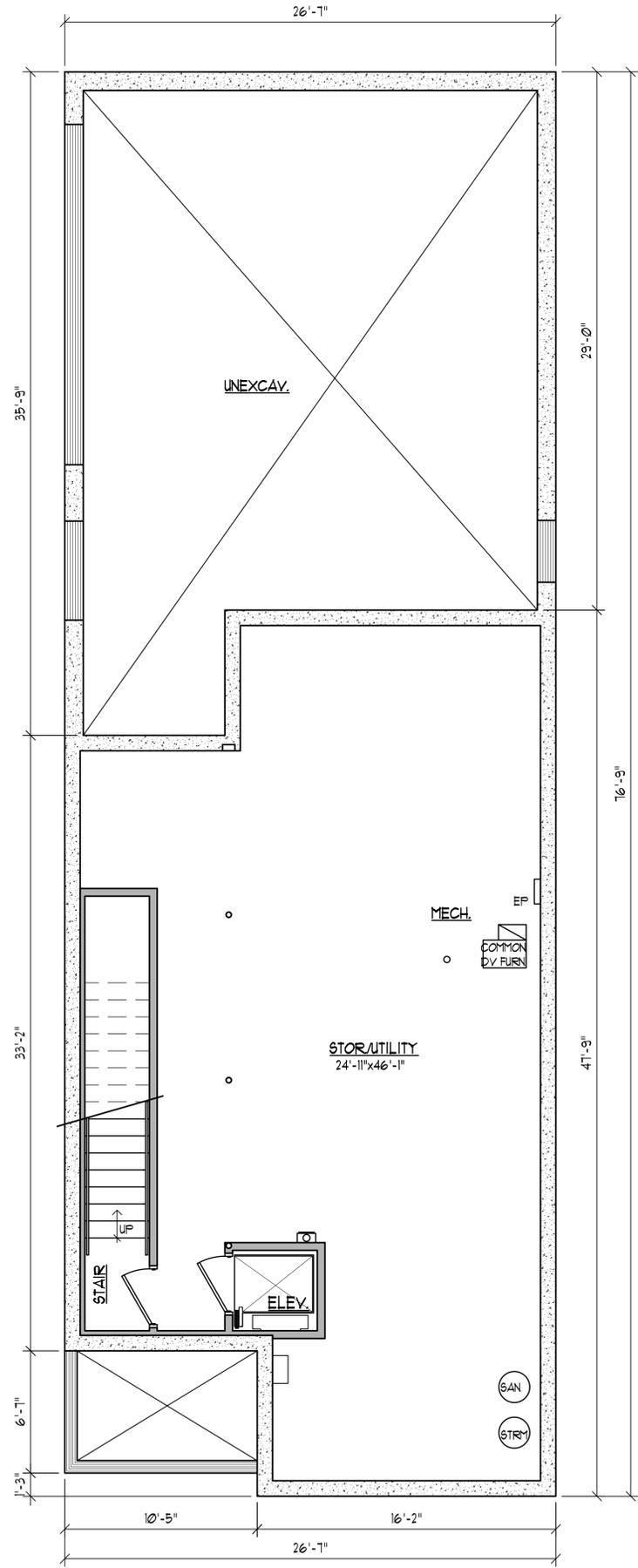


MIXED-USE DEVELOPMENT FOR:
THE BURNS FAMILY
 114 E. CHURCH STREET
 LIBERTYVILLE, IL 60048

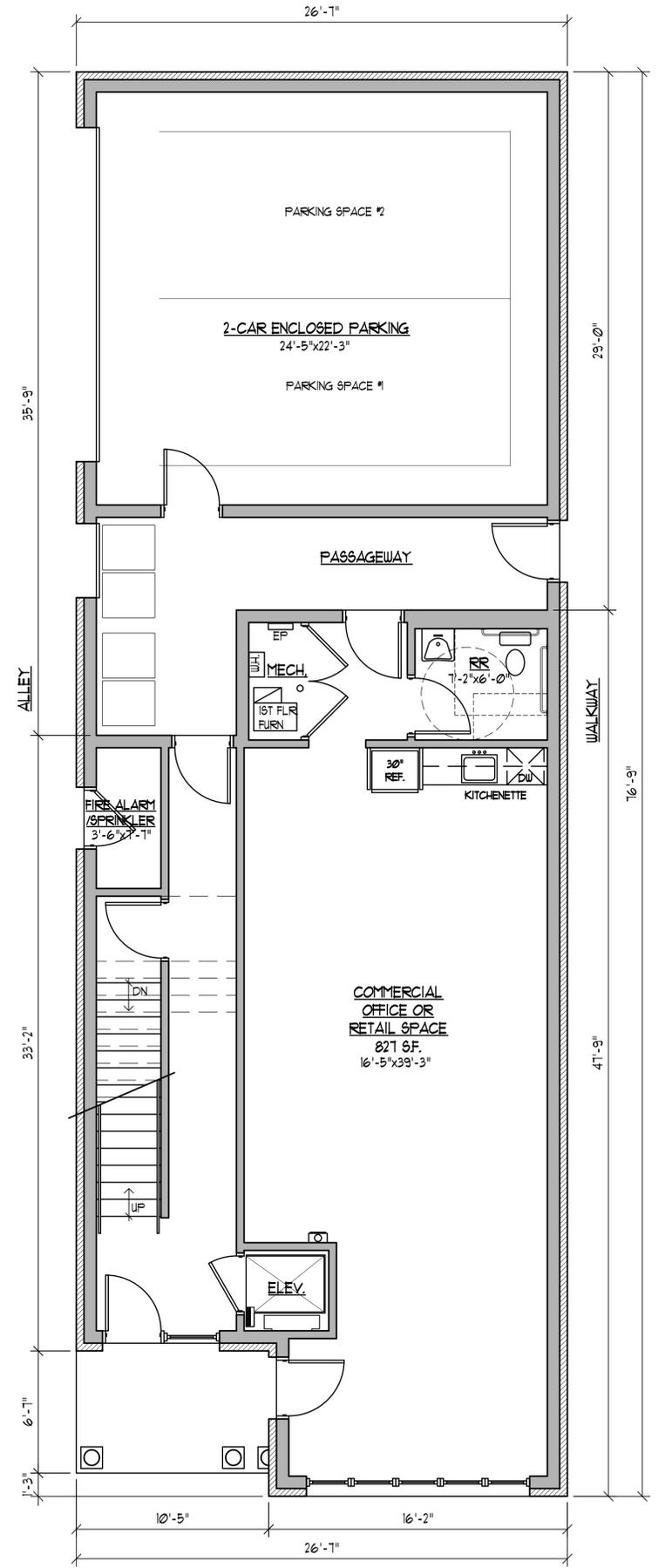
PROJECT DATA	
PROJECT DESCRIPTION: MIXED-USE BUSINESS OFFICE WITH 2 RESIDENTIAL UNITS ABOVE	
ZONING DISTRICT:	= C-1
LOT AREA:	= 3,052 SF
MAX. ALLOWABLE FLOOR AREA:	= 9,156 SF
PROPOSED FLOOR AREA:	= 6,156 SF
MAX. ALLOWABLE BUILDING HEIGHT:	= 45'0"
PROPOSED BUILDING HEIGHT:	= 43'56"
REQUIRED OFF-STREET PARKING	
COMMERCIAL OFFICE OR RETAIL - PER SEC. 26-10-12(d)	
827 SQ. FT. BUSINESS AREA	= 0 SPACES
RESIDENTIAL	
2 SPACES / 2 OR MORE BEDROOM UNIT	= 4 SPACES
TOTAL REQUIRED PARKING SPACES	= 4 SPACES
TOTAL PROVIDED OFF-STREET PARKING	= 4 SPACES



NORTH
 HP-1
SITE PLAN
 SCALE: 1"=10'-0"



NORTH
 HP-1
FOUNDATION / BASEMENT PLAN
 SCALE: 1/4"=1'-0"



NORTH
 HP-1
1ST FLOOR PLAN
 SCALE: 1/4"=1'-0"

AKL architectural services
 WWW.AKLARCH.COM
 34121 N. U.S. RT. 45, SUITE 209, GRAYSLAKE, ILLINOIS 60030 847.356.8025

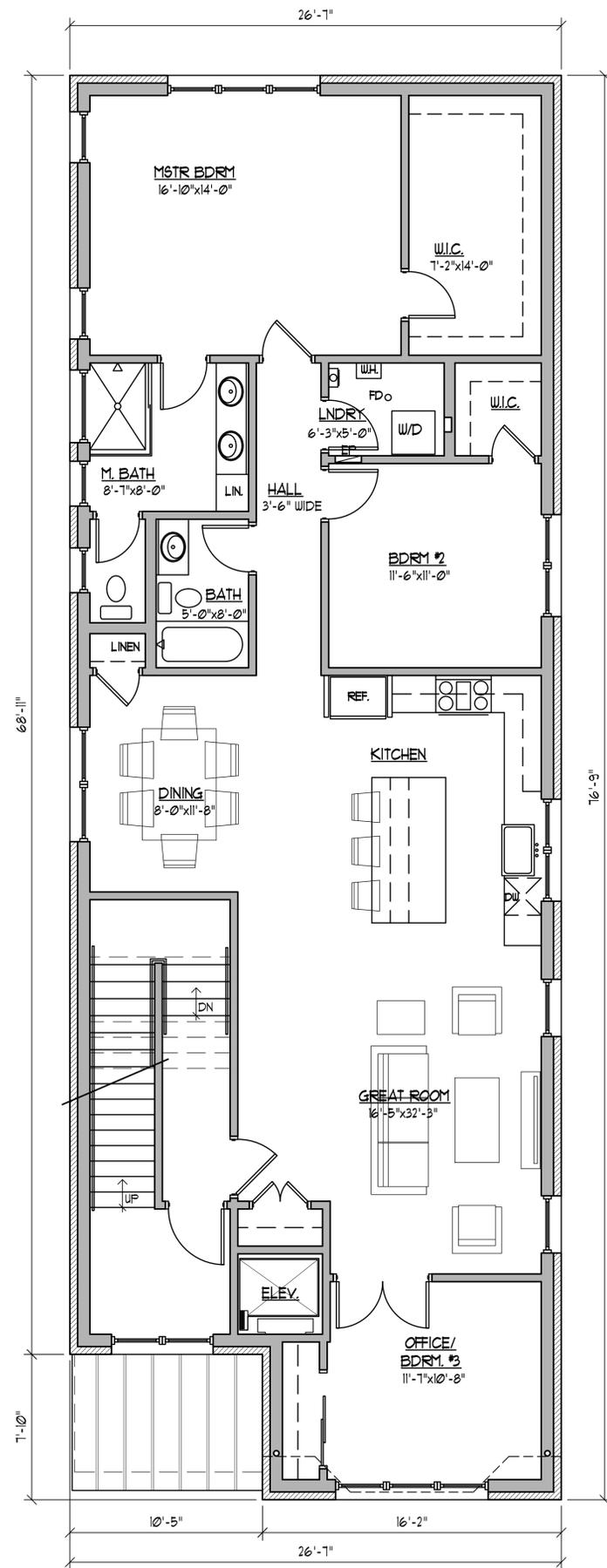
MIXED-USE DEVELOPMENT:
THE BURNS FAMILY
 114 E. CHURCH STREET
 LIBERTYVILLE, IL 60048

SCALE:

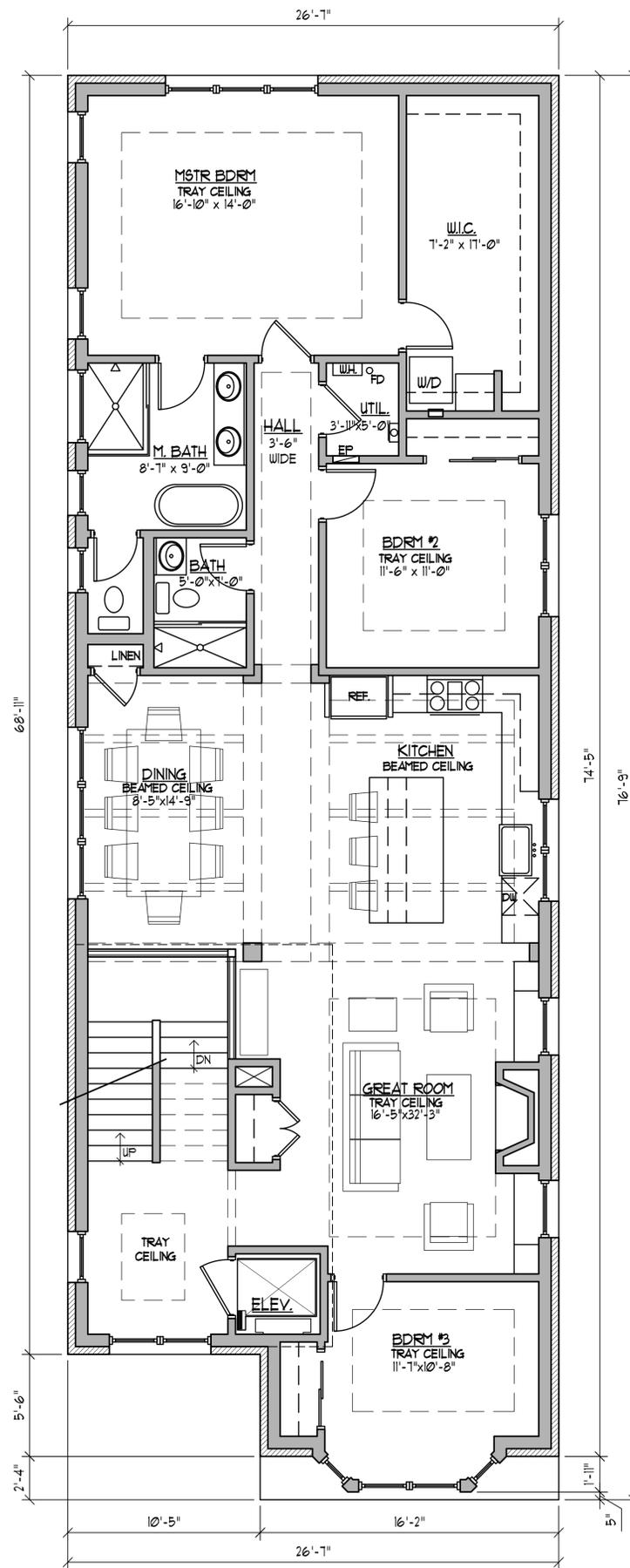
NO.	REVISION DESCRIPTION	DATE

DATE: 2/6/25
 DRAWN: DWD
 CHECKED: NKG
22076
 PROJ. NO.:

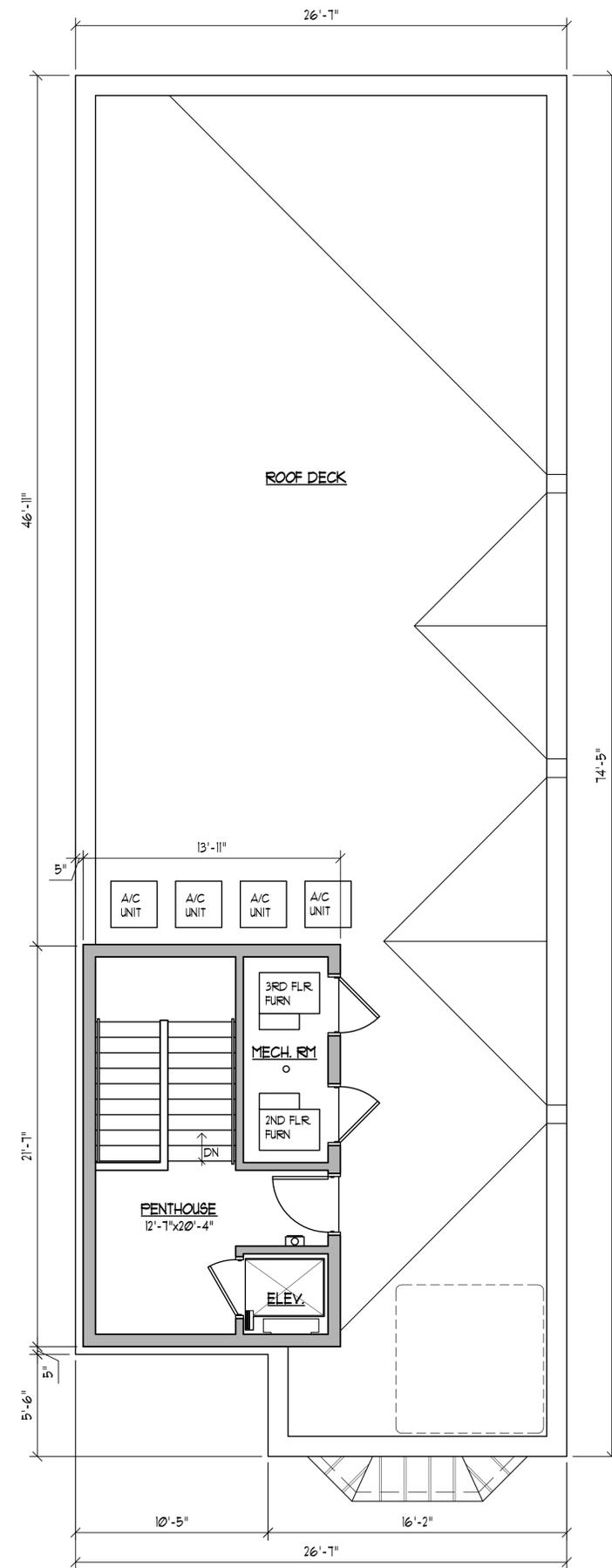
HP-1
 SHEET NO.:



NORTH
 2ND FLOOR PLAN
 HP-2 SCALE: 1/4"=1'-0"



NORTH
 3RD FLOOR PLAN
 HP-2 SCALE: 1/4"=1'-0"



NORTH
 3 ROOF PLAN
 HP-2 SCALE: 1/4"=1'-0"

NO.	REVISION DESCRIPTION	INITIAL	DATE

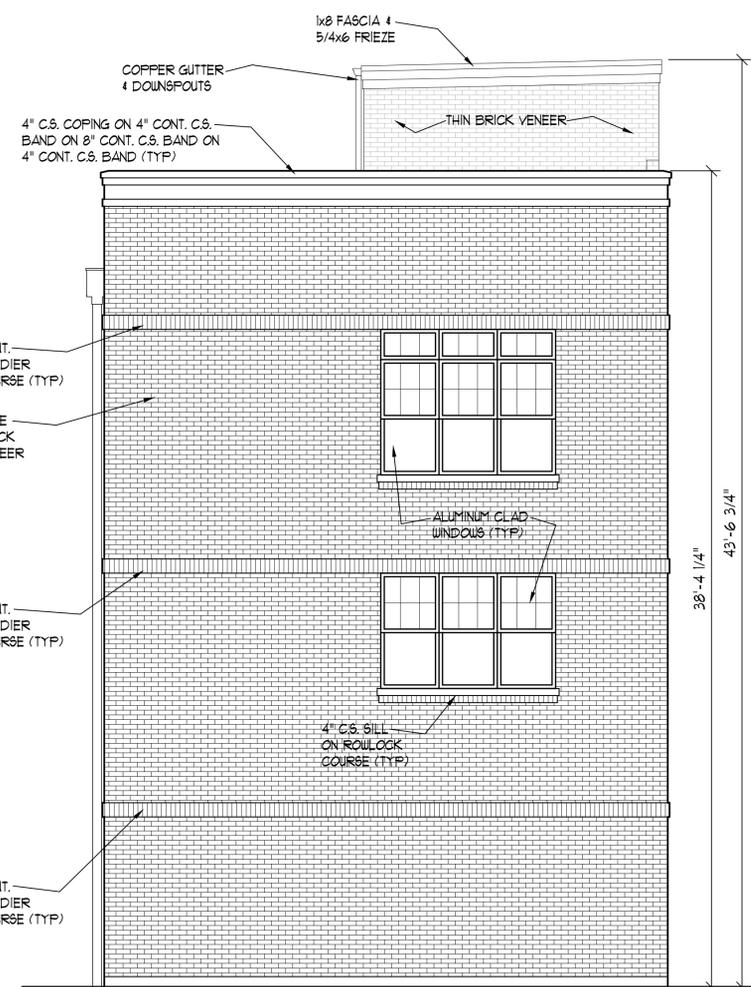
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 PROJ. NO.: 22076

NO.	REVISION DESCRIPTION	DATE

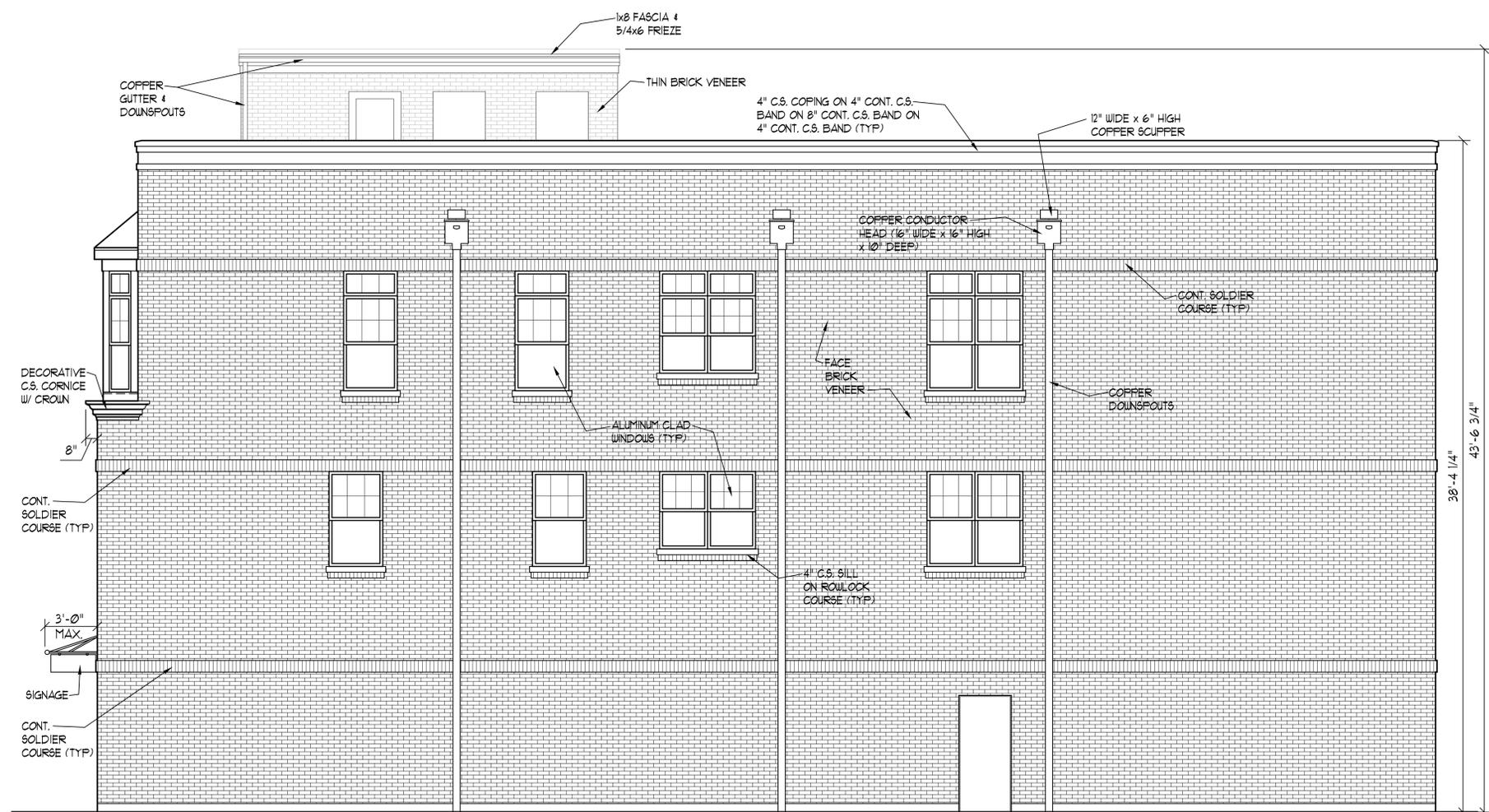
DATE: 2/6/25
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CHECKED: NJG

22076
PROJ. NO.:

HP-4
SHEET NO.:



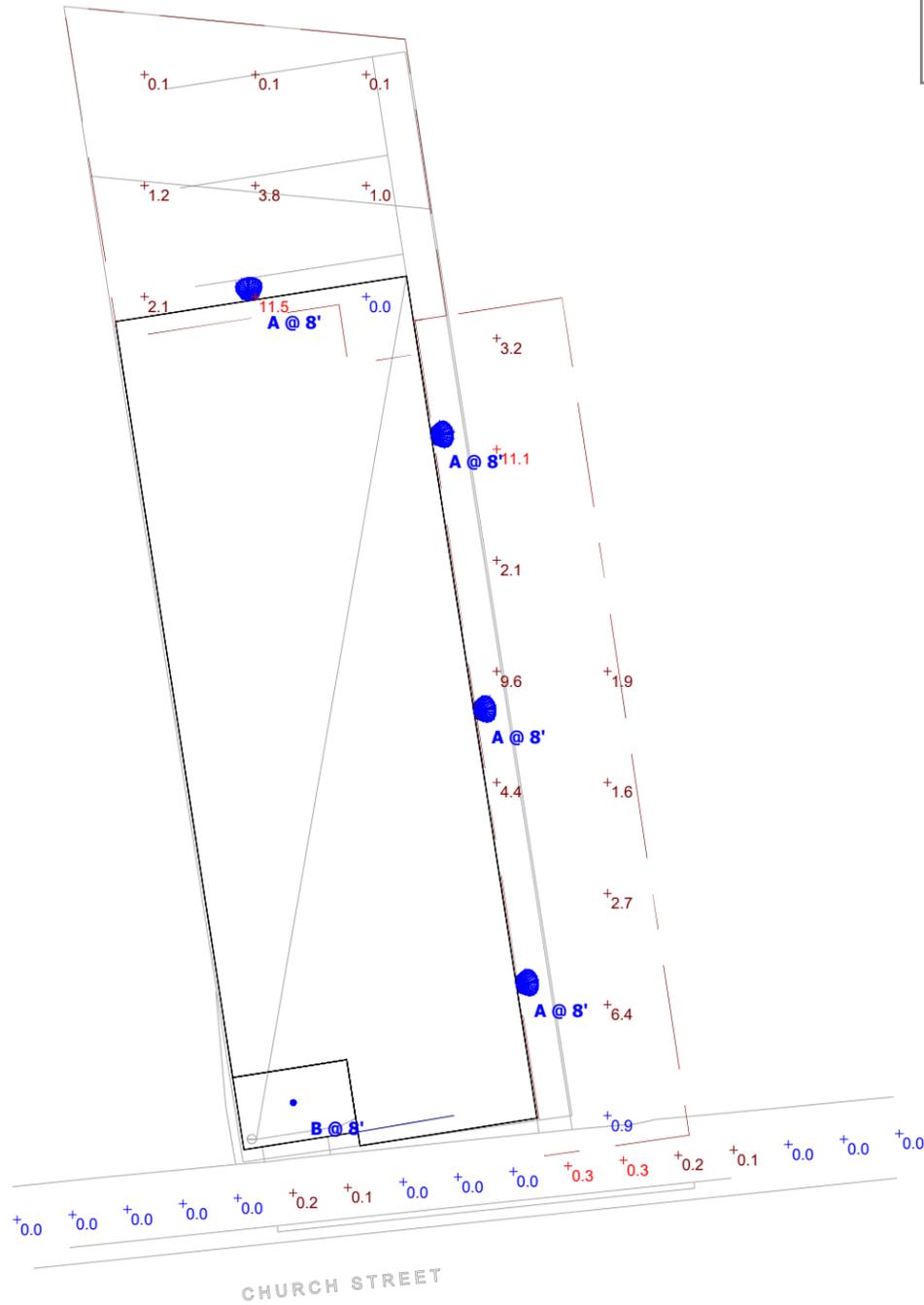
1 NORTH ELEVATION
HP-4 SCALE: 1/4"=1'-0"



2 EAST ELEVATION
HP-4 SCALE: 1/4"=1'-0"



114 CHURCH STREET PHOTOMETRIC



Schedule											
Symbol	Label	Image	Quantity	Manufacturer	Catalog Number	Description	Number Lamps	Lumens Per Lamp	Light Loss Factor	Wattage	Plot
□	A		4	Lithonia Lighting	WDGE1 LED P2 35K 80CRI VW	WDGE1 LED WITH P2 - PERFORMANCE PACKAGE, 3500K, 80CRI, VISUAL COMFORT WIDE OPTIC	1	1929	1	15.0178	 Max: 1454cd
○	B		1	Lithonia Lighting	LDN6 27/05 LO6AR LD	6IN LDN, 2700K, 500LM, CLEAR, MATTE DIFFUSE REFLECTOR, CRI80	1	449	1	5.83	 Max: 466cd

Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Adjacent Parking Lot	+	4.4 fc	11.1 fc	0.9 fc	12.3:1	4.9:1
Rear Building Lot	+	2.2 fc	11.5 fc	0.0 fc	N/A	N/A
Sidewalk Boundary	+	0.1 fc	0.3 fc	0.0 fc	N/A	N/A

Designer
 RT
Date
 02/05/2024
Scale
 Not to Scale
Drawing No.

Summary