

**Proposal for Planned Development Amendment to Accommodate Deck Replacement
1518 Parkview Drive, Libertyville**

The owner of the residence at 1518 Parkview Drive, Libertyville, wishes to increase the size of an existing deck (proposal). The existing deck needs to be replaced, and the current deck lacks adequate usable space. The proposal calls for a new deck to be built at the same length of 52 feet and to increase the current depth from 10 feet to 14 feet. The owner has been working with Joel Boyer of Unique Deck Builders of Highland Park to develop the proposal.

This proposal is being brought before the Development Review Committee because the Planned Development for the Carriage Hill subdivision currently restricts structures, grading changes, etc. beyond a defined line on this lot and the structure in this proposal would encroach upon that restricted area. As shown in the attached documents, the new deck falls within this area, as does the existing deck. The Carriage Hill Park Property Owners Association is aware of and has approved the proposed deck.

The owner is seeking adjustment to the Planned Development to allow the proposed deck.

Code and Plan Purposes: The new deck will be built under permit from the Village of Libertyville if the DRC approves this proposal. Carriage Hill Park Property Owner's Association has approved this plan.

Adverse Impact: There is no negative impact upon adjacent property. The new deck will not require grading changes. The new deck will require new pilings to meet building codes.

Interference with Surrounding Development: This is not an issue as surrounding properties are fully developed.

Preliminary Engineering Plan: Nothing else required per Jeff Cooper (phone call June 4, 2025)

Adequate Public Utilities: Given the nature of this proposal, public facilities are not an issue.

Traffic Congestion: This is not an issue for this proposal.

Destruction of Significant Features: The proposed deck will not require the removal of any existing trees in the protected area. The proposed plan would not result in the destruction of any natural, historic or scenic feature.

Attachments:

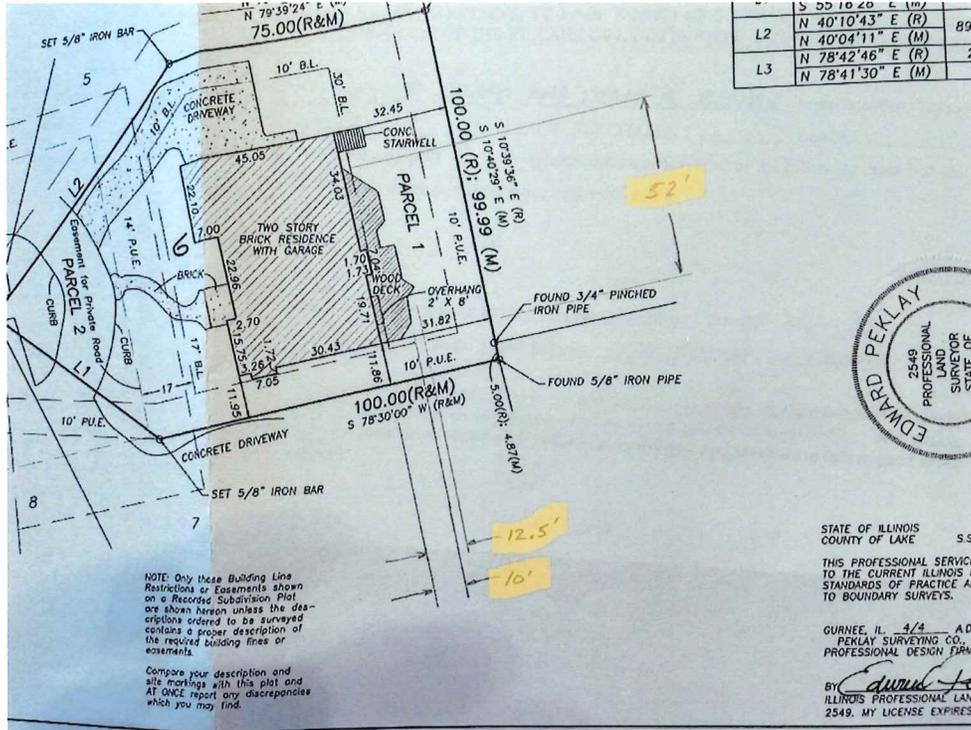
1. Plat of Survey Existing Deck and Plat of Survey New Deck
2. Site Plan Proposal - Plan View
3. Site Plan Proposal - Decking and Railing
4. Site Plan - Side Elevation
5. Deck Rendering and Aerial Photograph of Site and Surrounding Area
6. SIP Grading Plan (received from Village of Libertyville)
7. Approval letter from Carriage Hill Park Property Owners Association

Plat of Survey provided.

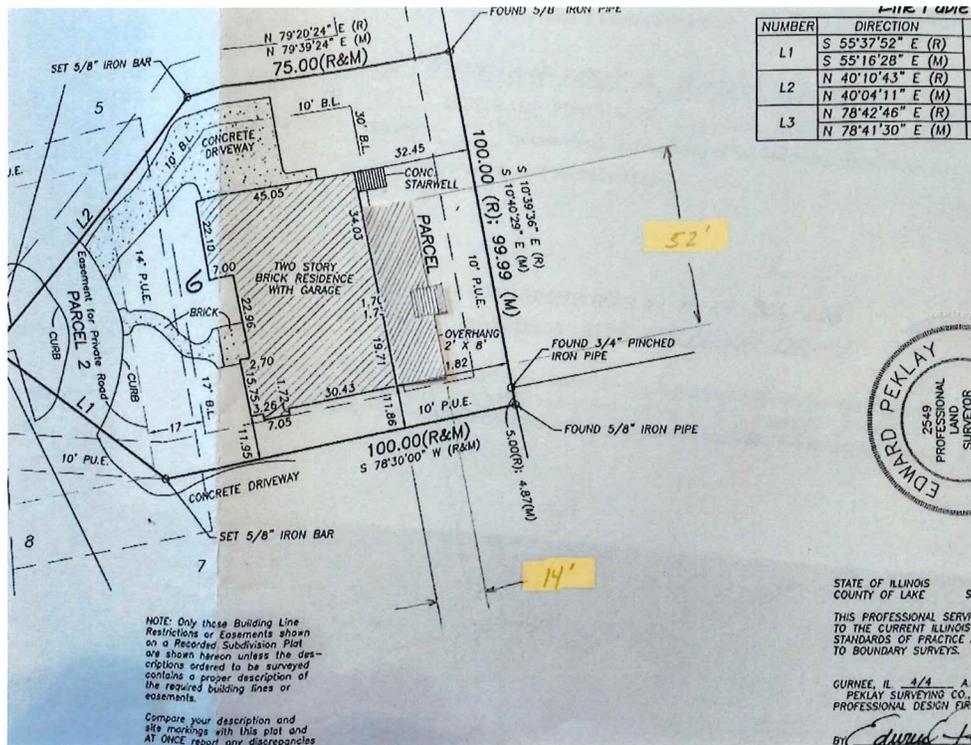
Proposal for Planned Development Amendment to Accommodate Deck Replacement 1518 Parkview Drive, Libertyville

Attachment 1

Plat of Survey Existing Deck



Plat of Survey Proposed Deck



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1518 Parkview Drive, Libertyville

Attachment 2

UNIQUE DECK BUILDERS, INC.

172 Skokie Valley Rd. Highland Park, IL 60035 - www.uniquedeck.com - (847) 831-1388

Mr. and Mrs. Botten
1518 Parkview Drive
Libertyville, IL.

FRAME DETAIL

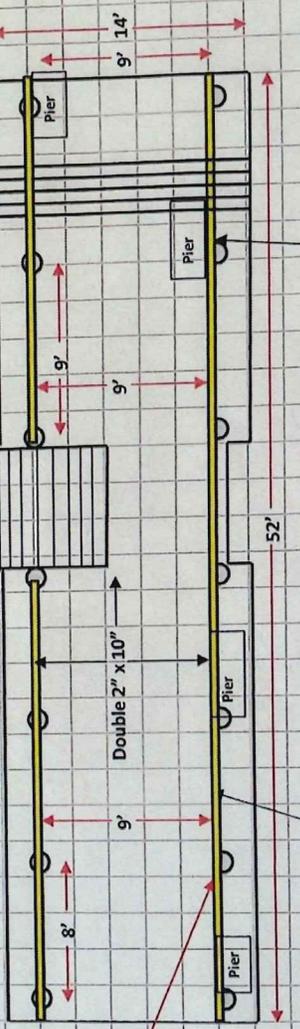
Page

- New Deck Frame**
- Piers Hand Dug 12" inch Round x 42" inch Deep Piers
Hand Mixed and Poured on site.
- Deck is self supported on 2-sets of headers
2" x 10" Box frame on all sides
- Double 2" x 10" headers attached to 6" x 6" posts
- 6" x 6" Teco Galvanized brackets
- 2" x 10" Joists set 12" on center
- 2x Joist hangers and truss nails
- Stairs to have 2" x 12" Stair Stringer frame set 12" on center
- Rail blocking 4 by 6 Blocked placed horizontal and bolted
with ledger locks so the rails can be bolted set to the frame
- Picture frame blocking set to the frame

Stairs - 12" Treads.
Closed Risers Composite.
2 by 12 stringer set 12 inch on center.

2" x 10" Joists set 12" Inch On Center.
2" x 10" Front Box Beam.

We will set 2 by 4 Lower
Lateral Supports on a 45 Degree Angle
to the 6 by 6 posts side to side and front
to back.



Double 2" x 10" Back Header
Set 30" off the wall to center from the back wall
-The deck is supported on the back header.
No ledger is not bolted to the house.

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JAN 12 2025

Village of Libertyville
Building Division

Proposal for Planned Development Amendment to Accommodate Deck Replacement
 1518 Parkview Drive, Libertyville

Attachment 3

INIQUET DECK BUILDERS, INC.

2 Skokie Valley Rd. Highland Park, IL 60035 - www.iniquetdeck.com - (847) 831-1388

Mr. and Mrs. Botten
 1518 Parkview Drive
 Libertyville, IL.

Decking and Rails

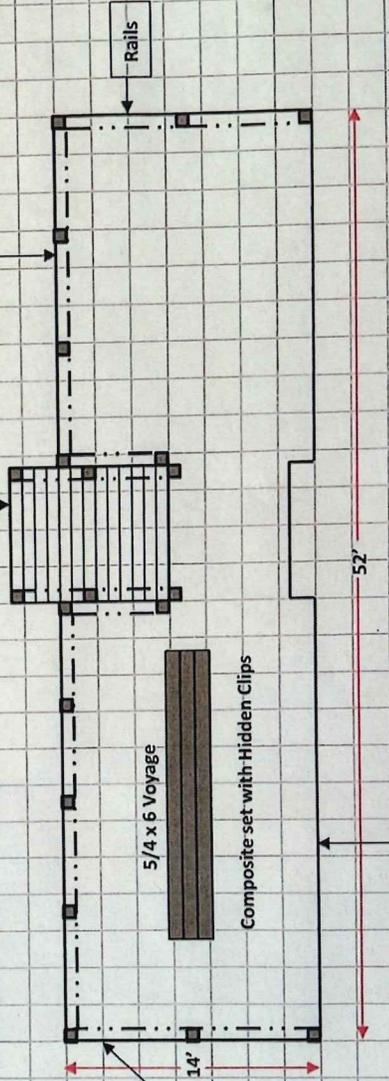
The Deck is Elevated 6 feet 3 inches off of grade.

Deckorators Brand Voyage #1 Series Decking.
 Deckorators Brand A.L.X. Welded Rails.



1" x 12" Side Fascia
 Set below the floor.
 The Bottom of the deck open.

Stairs - 12" Inch Treads
 Closed Risers Composite



Deckorators ALX Contemporary.
 Posts bolted through the floor to the frame.
 The rail section 36" inches Tall with a 4" or less Baluster spacing.
 The rail sections are welded.

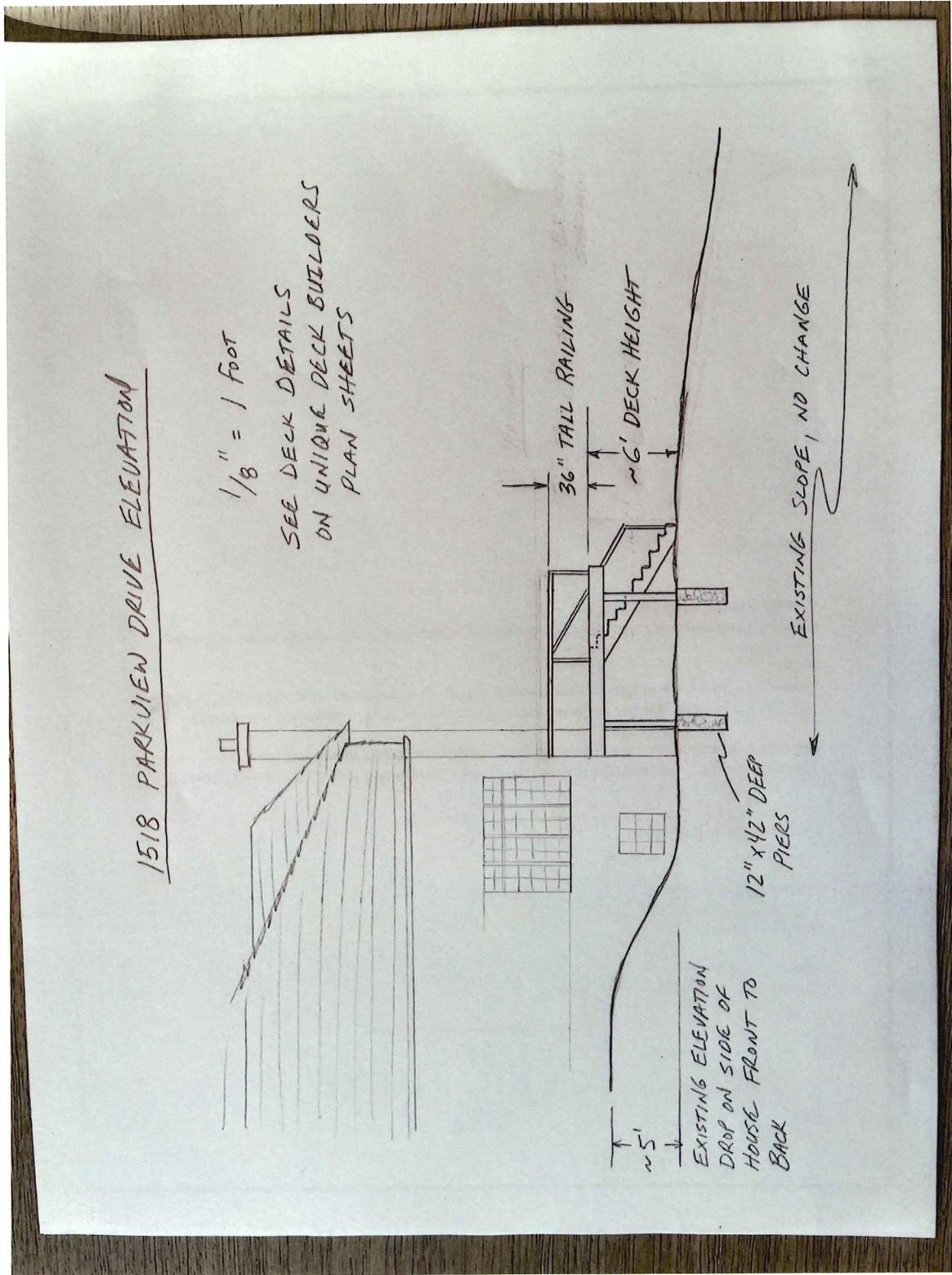
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MAY 12 2025

Village of Libertyville
 Building Division

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Attachment 4



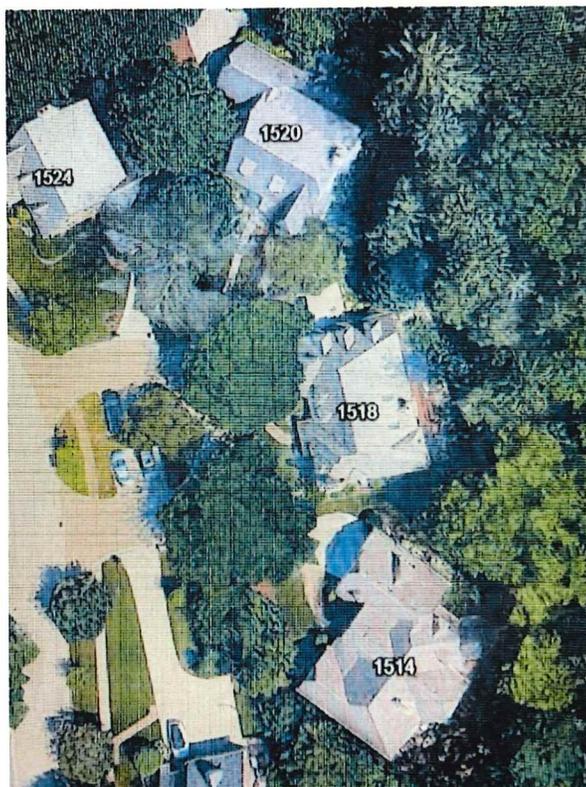
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Attachment 5

Deck Rendering



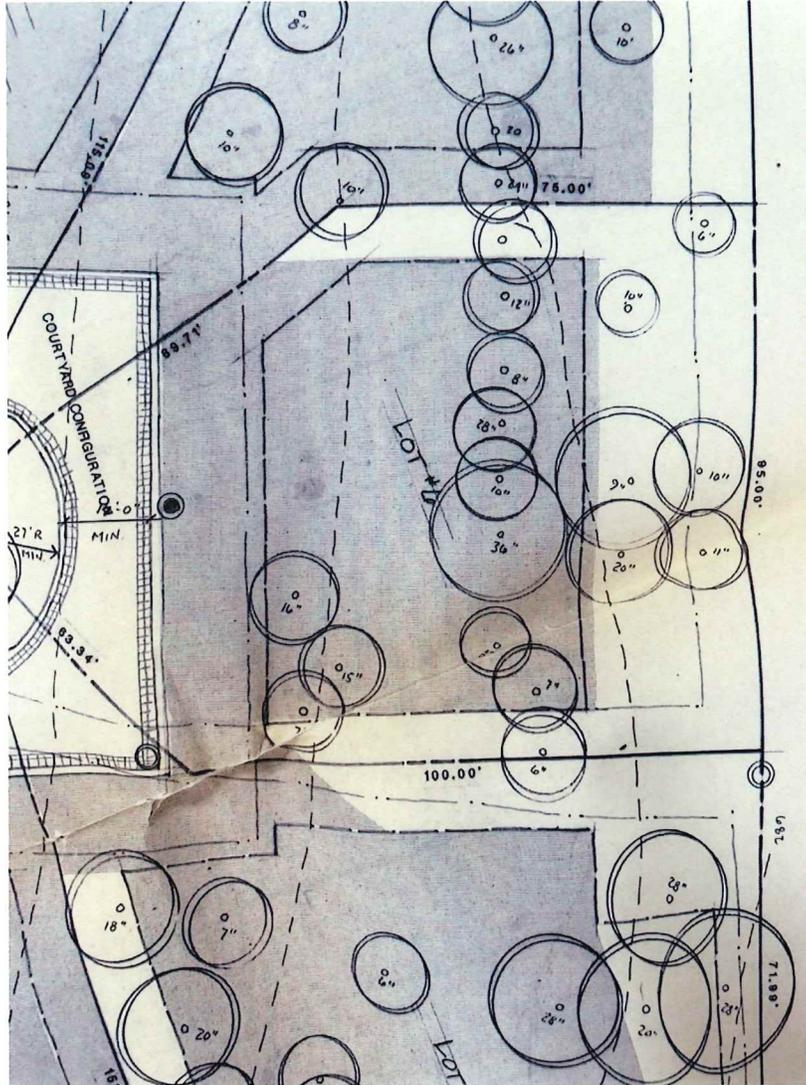
Aerial View of 1518 Parkview Drive



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Attachment 6

SIP Grading Plan



**Proposal for Planned Development Amendment to Accommodate Deck Replacement
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Attachment 7



**CARRIAGE
HILL**

Carriage Hill Park Property Owners Association

April 15, 2025

Mr. Scott Botten
1518 Parkview Drive
Libertyville, IL 60048

Greetings Scott & Tracy:

The proposed deck replacement is approved by the Carriage Hill Homeowners ARC review committee as submitted. We appreciate you bringing the project to our attention.

This letter represents the full endorsement of the project by the Homeowners Association. Please provide a copy of this document to the Village of Libertyville when obtaining the building permit.

On behalf of everyone in the association we congratulate you for the details submitted to the Association and wish you well.

Healthy regards,

A handwritten signature in cursive script, appearing to read "John Huber".

John Huber
Carriage Hill Architect Review Committee Chair

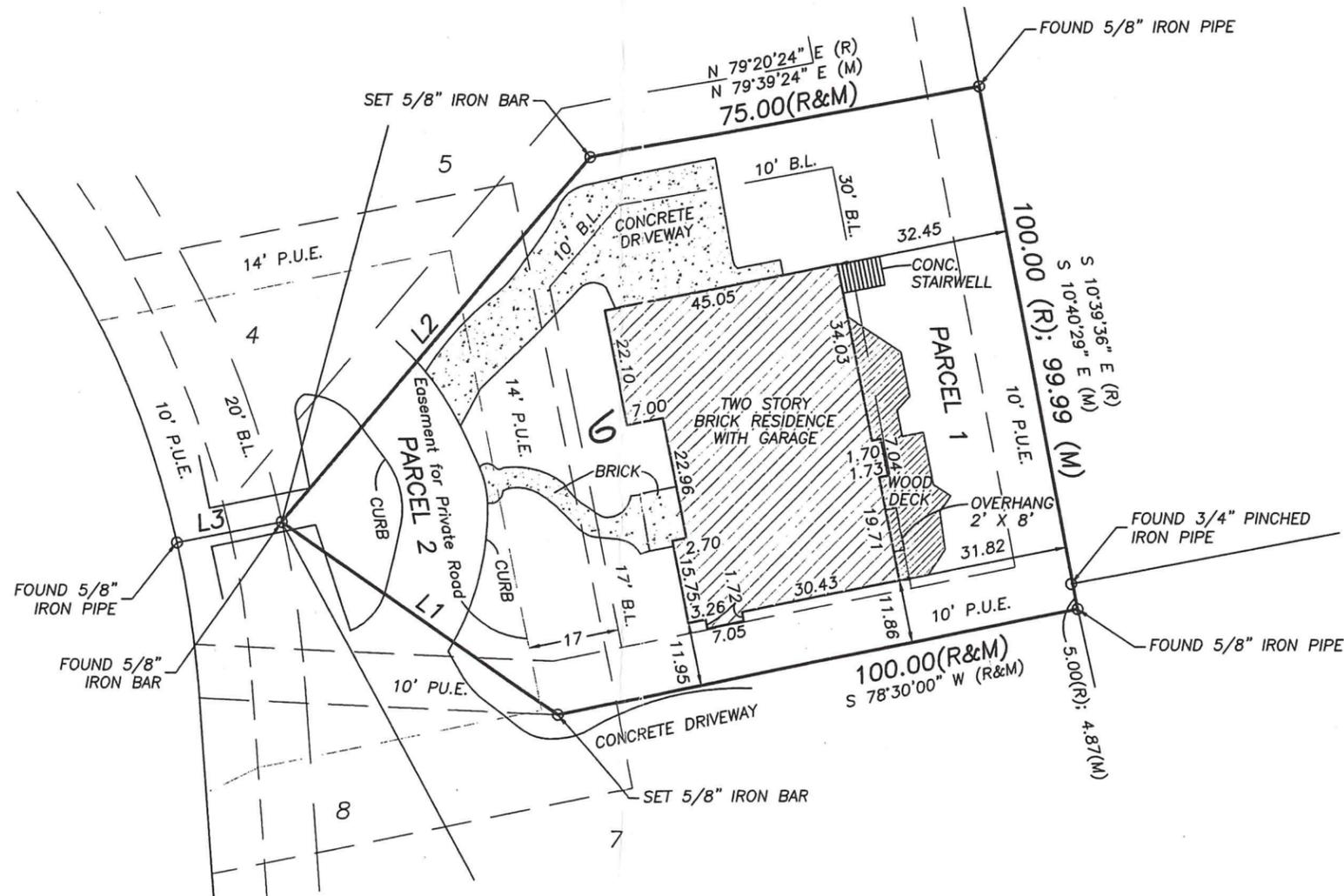
PEKLAY SURVEYING CO., LTD.
PLAT OF SURVEY

PARCEL 1: LOT 6 IN CARRIAGE HILL PARK RESUBDIVISION, BEING A RESUBDIVISION OF LOTS 2, 3, 4, 5, 6, 9 AND 10 IN CARRIAGE HILL PARK SUBDIVISION OF PART OF SECTIONS 9 AND 16, TOWNSHIP 44 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT OF SAID RESUBDIVISION RECORDED AUGUST 8, 1991 AS DOCUMENT 3049491, IN LAKE COUNTY, ILLINOIS.

PARCEL 2: EASEMENT FOR INGRESS AND EGRESS FOR THE BENEFIT OF LOT 6, AS SHOWN ON THE AFORESAID SUBDIVISION.

Legend
(R)= Record
(M)= Measure
B.L.= Building Line
P.U.E.= Public Utility Easement
P.U. & D.E.= Public Utility & Drainage Easement
Basis of Bearings = Plat of Subdivision
Area = 11,621 sq. ft. (R)

PARKVIEW DRIVE



ALL DISTANCES IN FEET AND DECIMAL PARTS THEREOF. NO DIMENSIONS TO BE ASSUMED BY SCALING.

DATE OF FIELD WORK: 04/03/19
SCALE: One inch = 30 feet

FILE NO. 19-67

ORDERED BY: SEMMELMAN & WISNESKI

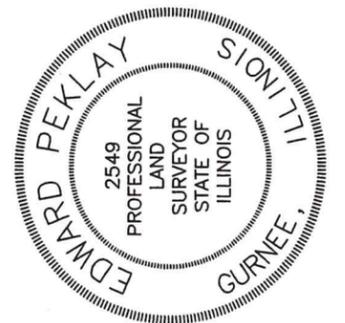
PROPERTY ADDRESS: 1518 N. PARKVIEW DRIVE, LIBERTYVILLE, ILLINOIS

NOTE: Only those Building Line Restrictions or Easements shown on a Recorded Subdivision Plat are shown hereon unless the descriptions ordered to be surveyed contains a proper description of the required building lines or easements.

Compare your description and site markings with this plat and AT ONCE report any discrepancies which you may find.

Line Table

NUMBER	DIRECTION	DISTANCE
L1	S 55°37'52" E (R)	63.34(R&M)
	S 55°16'28" E (M)	
L2	N 40°10'43" E (R)	89.71(R&M)
	N 40°04'11" E (M)	
L3	N 78°42'46" E (R)	20.00(R)
	N 78°41'30" E (M)	



STATE OF ILLINOIS
COUNTY OF LAKE S.S.

THIS PROFESSIONAL SERVICE CONFORMS TO THE CURRENT ILLINOIS MINIMUM STANDARDS OF PRACTICE APPLICABLE TO BOUNDARY SURVEYS.

GURNEE, IL 4/4 A.D. 2019
PEKLAY SURVEYING CO., LTD.
PROFESSIONAL DESIGN FIRM NO. 2981

BY *Edward Peklay*
ILLINOIS PROFESSIONAL LAND SURVEYOR NO. 2549. MY LICENSE EXPIRES 11/30/2020