



July 11<sup>th</sup>, 2025

***The Project Narrative remains virtually the same as originally submitted.***

***The petitioner team has met with Village staff including community development, planning, engineering and arborist to coordinate and address specific plan details that are customary final site planning , engineering and landscape improvements> We believe the plans are suitable for final consideration before plan commission and village board.***

- ***Final plans include more explicit detail for the final plan submittal..***
- ***There have been no substantial changes to the plans that were approved by Plan Commission and Village Board.***

***We want to thank the Commissioners, Board members and the village staff for their guidance and support re looking forward to receiving consideration for final subdivision approval***

### **Project Narrative**

Meyer Property - Single Family, Six Lot Residential Subdivision  
245 Walnut Street, Libertyville, IL.

### **Preface – Intro from Owner**

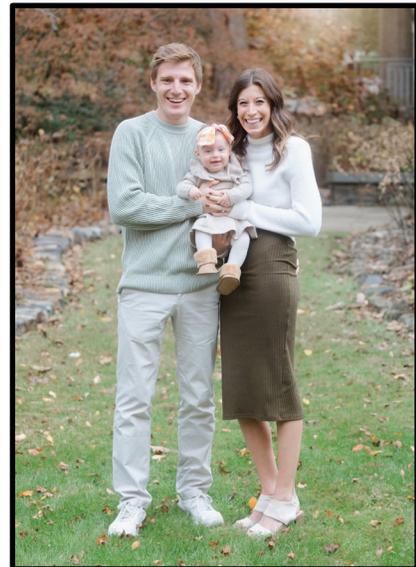
*Greetings all!*

*I am Charlie Meyer, the owner and dreamer behind this proposed development on the North side of town. I'll spare you my life story, but I am a born & raised Libertyvillian with aspirations of moving my young family back to my hometown and reside on the property. Currently, I make the daily commute from Lincoln Park to Libertyville, so that I can lead my family's manufacturing business which is stationed in Libertyville's NW industrial corridor.*

*Folks that know me will call me biased, but Libertyville is truly a one-of-a-kind place.*

*My wife Jenna & I have a soft spot for Libertyville, in no small part to the vibrant downtown, peaceful parks and terrific schools. Many of my fondest memories stem from riding bikes around Adler, Butler and Butterfield Parks. The goal of this small subdivision is to extend a little bit of that Libertyville magic to a few more families, including my own. We believe many people will cherish the proximity to the town center and the tranquility along the Des Plaines River.*

*For the past ~60yrs, the quaint farmhouse and property at 245 Walnut were stewarded by the Nelson family. Once connected, my family quickly bonded with the Nelson's over our shared admiration*





*for the history of the land, the bulk of which will remain untouched post-development. Our new vision is to seek a low-density subdivision that maintains the harmony of the Carriage Hill neighborhood.*

### **Existing Conditions**

- The subject property is 16.5 acres consisting of 10 acres within the Village of Libertyville and 6.5 acres in unincorporated Lake County located in the northwest corner.
- The property presently has one single-family residence and three detached structures on the western Libertyville portion of the property.
- The present home has domestic water, a water well house and a septic system for sanitary sewer. Septic and well will be decommissioned.
- The eastern part of the property contains open lawn, fenced horse pastures and transitions to mature woods extending across to the east shore of the Des Plaines River.
- The Des Plaines River trail is on the west shore running north/south, parallel to the river.
- Des Plaines River floodplain, wetland and floodway zones occupy the eastern part of the property and are defined on the site plan exhibits.
- The west part of the property rises to natural grade elevation which is approximately 32' above the river elevation, floodplain and floodway.
- A single driveway provides access to the property from Walnut Street and will be removed.
- Within the Village of Libertyville corporate limits, the existing residential zone for the westernmost part of the property is 2.4 acres of R-6 (7,500 sq. ft.), the central part of the property is 3.38 acres of R-4 (15,000 sq. ft.), the eastern property is zoned OS- Open Space.
- The Lake County portion of the property is a 'wedge' shaped delineation line at the northeastern corner and is zoned, County R-1 and OS- Open Space.
- Municipal utilities including sanitary sewer, domestic water, electric, natural gas are adjacent to the property on Walnut Street and Winchester Road.

### **Proposed Subdivision**

- As a low-density development, the subdivision is seeking to conform 'by-right' to the village code and zoning and not seeking any special use, variation, or relief as part of this subdivision application.
- A new proposed public road cul-de-sac is planned to connect to Walnut Street and not a through street.
- The existing driveway, home, site buildings and fences will be removed and disposed of offsite.
- Upon approval of the subdivision, individual home and lot site plans will come before the village separately for review and permit separate from this subdivision application.
- The proposed project is a land subdivision development request to support six low-density single family detached homes.
- The existing R-4 and R-6 zoning allows by right for a higher density yield on the property which is not being proposed.
- All the proposed lots are designed to be more generous in size than the minimum required zoning lot sizes and surrounding neighborhood.
- The homesite lots are designed to be in conformance with the existing R-4 and R-6 zoning standards.



- All the homesite building areas are planned to remain outside and above the existing floodplain, wetland and floodway limit boundaries.
- A minor modification of the existing R-4 / R-6 zoning delineation line is requested to conform with the center line of the proposed new road allowing Lot 1 to be contained in a single zoning R-4 district rather than straddling into the R-6 area.
- The wedge of 6.5 acres of (Lake County) R-1 zoned land is part of Lot 1 and is proposed to petition for annexation into the Village of Libertyville as R-4 and Open Space.

### **Stormwater and Engineering**

- All six homes are planned to be served by public municipal water, sewer, gas, electric, cable as standard utilities.
- Stormwater quality and volume release control will be managed within a common homeowner association managed stormwater basin easement located outside of the flood zones.
- Stormwater will be detained outside of the floodway zone and designed in accordance with village engineering standards with a regulated discharge flow outfall directed due east to the Des Plaines River.
- The stormwater basin will be contained within an easement onto Lot 2 and feature a wet vegetated bottom with planted side slopes.
- The stormwater high water level line will be contained within a landform embankment to ensure storm level water flows to the overflow spillway that drains east to the Des Plaines River.
- The domestic water line will be looped around the cul-de-sac to allow recirculation to the public water main on Walnut Street.
- A fire hydrant will be located within the cul-de-sac area.
- The existing floodplain, wetland, or floodway is to remain as-is without modification necessary to support the proposed subdivision.

### **Lighting**

- A new village standard streetlight and pole will be located in the cul-de-sac area.
- An existing village streetlight and pole located at the Walnut Street entry will be relocated about 18' east.

### **Traffic**

- The proposed road is 27' wide back-of-curb, designed as a standard two way village street with on street guest parking regulated by village standards.
- Walnut Street access and egress sight distance will be addressed in the traffic study.
- The cul-de-sac road is designed with auto turn exhibits to accommodate Libertyville Fire Department truck and emergency vehicle turning radius needs.
- The road will feature a curbed, landscaped entry median and center median island in the cul-de-sac.
- Two, 15' wide, one-way access and egress lane widths on either side of the landscaped entry median provide greater than the required 12' minimum for ease of circulation
- A 5' wide concrete sidewalk connecting to Winchester Street sidewalks will be included on both sides of the proposed road.



- Traffic access to Walnut Street and to Carriage Hill Circle loop road and the Milwaukee Avenue intersection will be addressed in the traffic study.

#### **Landscape**

- An existing tree inventory and survey has been included along with a tree protection and removal plan.
- Existing woods on the eastern part of the property are not being impacted by the development.
- The proposed new landscape will include grass parkways with deciduous street trees and includes restoration planting of the stormwater basin and graded site area adjacent to the road and stormwater basin.
- Plantings on the south side of the stormwater basin are designed to stabilize the grading and will provide screening to the south neighbors.
- The cul-de-sac and entry median island will be planted with low plantings and canopy trees that do not impede safe sight distance viewing of pedestrians or vehicles.

#### **Essential Elements of the Area**

The proposed subdivision will result in a use or development on the subject lot that:

1. Will not be materially detrimental to the public welfare or materially injurious to the enjoyment, use, development, or value of property or improvements permitted in the vicinity.
2. Will not materially impair an adequate supply of light and air to the properties and improvements in the vicinity.
3. Will not substantially increase congestion in the public streets due to traffic or parking.
4. Will not unduly increase the danger of flood or fire.
5. Will not unduly tax public utilities and facilities in the area.
6. Will not endanger the public health or safety.

We look forward to receiving comments from staff and village and appreciate your support. Please refer to the site development plans, engineering, and landscape plans for further information. Sincerely,

A handwritten signature in blue ink, appearing to read "Nick Patera".

Nick Patera - Principal  
Teska Associates, Inc.

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627 Grove St. Evanston, IL 60201  
Direct: 847.563.9720



June 6, 2025

**Updated July 11, 2025**

To –  
Heather Rowe  
David Smith  
Village of Libertyville  
Regarding –  
**Meyer Subdivision**  
**245 Walnut Street**  
**Libertyville, IL.**

Subject-

The Meyer Subdivision team applicants have prepared this written response to the **Plan Commission conditions of approval**. Responses are addressed *in italics* below each of the Plan Commission conditions staff memorandum text. **Further comments regarding July 11, 2025 Final Plan submittal are included in RED.**

This written response accompanies the submittal of final engineering plans prepared by Pearson Brown & Associates and final landscape plans prepared by Teska Associates, Inc. for final staff review and recommendation.

Agenda Item No. 4

**VILLAGE BOARD AGENDA SUPPLEMENT**

**Meeting Date:** May 27, 2025

**Agenda Item: REPORT OF THE PLAN COMMISSION**

**PC 25-02, Zoning Map Amendment**

**PC 25-03, Preliminary Plat of Subdivision**

**PC 25-04, Site Plan Permit**

Charles Meyer, Come Tomorrow, LLC, Applicant

245 Walnut Street

**Staff Recommendation to  
Plan Commission:**

Approve Zoning Map Amendment, Preliminary Plat of Subdivision, and Site Plan Permit.

**PC Recommendation:** Approval of Report.

Upon approval, an ordinance will be drafted for Board action

**Staff Contact:** Heather J. Rowe, Director of Community Development

**Background:** Come Tomorrow, LLC is requesting a Zoning Map amendment, Preliminary Plat of Subdivision, and Site Plan Permit for property at 245 Walnut Street. The applicant is proposing

to create six (6) single family residential lots on the property. All six (6) of the proposed lots meet

or exceed the minimum required lot sizes as regulated in the Zoning Code.

The Plan Commission heard these requests at their February 24, 2025, and April 14, 2025 meetings

and concurred with the requests. Motions to recommend Village Board of Trustees approval for the Zoning Map Amendment and Site Plan Permit passed with votes of 4 – 2, and the Preliminary

Plat of Subdivision with a vote of 5 – 1, with the Preliminary Plat and Site Plan Permit subject to the following conditions:

1. Unless information is provided to demonstrate that trees #31, #32, #33, and #34 should remain, the final landscape plans should show these additional tree removals as depicted on the engineering demolition plan. - ***Response- Trees 31 through 34 are depicted for removal on the civil engineering and landscape plans.***

2. The southern swale/berm within Lots 2 and 3 shall be depicted on all final site plans, final engineering plans, and final landscape plans, along with the final grading for the detention basin. - ***Response- The southern swale, detention basin, slopes and drainage areas are coordinated on the landscape plan to match the engineering grading plans.***

3. Final engineering and final landscape plans shall show that no landscaping installations obstruct any drainage swales or overland flow routes, including the southern swale within Lot 3 and the overflow route of the proposed detention basin. - ***Response- Landscape plans and engineering grading plans are coordinated to have a clear drainage route unobstructed by landscape plant material installation other than a specific swale grass seed mix. Proposed grading topographic contours are indicated on the landscape plan.***

4. The proposed right of way plantings shall be evaluated for acceptance of planting locations by the Village Arborist. - ***Response- It is understood that Public R.O.W. plantings are to be reviewed by the Village Arborist. Care has been taken to specify upright form, single stem, street and median trees at the proposed Blue Bridge Lane entry median and to avoid wide tree canopy conflict with large service and delivery vehicles. Landscape median plant material is selected to provide lower growing shrub and perennial species that don't obstruct sight view distance at the Walnut intersection. The petitioner team has met with the village arborist to coordinate final landscape plans regarding placement and selection of parkway and median tree planting. Location of anticipated home driveways are shown on the landscape plans. Final drive locations will be confirmed pending separate home building permit approval. Trees to be planter minimum 15' from driveway apron flair. Multi-stem ornamental trees within cul-de-sac island will be pruned maintained by HOA over time to limit overgrowth towards curb lines, per arborist request.***

5. Final engineering plans will need to show a revised public sanitary sewer layout that is acceptable to Public Works Department staff. – ***Response- Refer to civil engineering plans for the proposed sanitary sewer specifications and location.***

6. Easement boundaries and provisions on the plat of subdivision shall be modified as necessary to address the comments within this DRC report, along with any additional

comments that may be issued upon staff review of the final engineering plans. - ***Response- Refer to the Final Plan to review easements and coordination with the civil engineering plan documents.***

Additionally, while most of the property is incorporated, the applicant is requesting annexation of a certain unincorporated portion of the property into the Village of Libertyville. This is not within the Plan Commission's purview and therefore, the Plan Commission made no recommendation regarding this portion of the application. The proposed annexation will be considered by the Village Board at a public meeting at a later date and the approvals granted here subject to annexation approval. If the Board approves the Report of the Plan Commission, an ordinance will be prepared for the next Board meeting that will include the items within the Plan Commission's recommendation along with conditional language related to the annexation. – ***Response- It is understood annexation will be an action undertaken by the Village.***

Please let us know if there are any staff questions that we may clarify.

Thank you,  
Charlie Meyer – Come Tomorrow, LLC

Nick Patera- Teska Associates, Inc.

**Updated 7/11/2025**

PEARSON, BROWN & ASSOCIATES, INC.  
 MEYER SUBDIVISION  
 245 WALNUT STREET, LIBERTYVILLE, ILLINOIS

JOB #: 2596  
 DATE: 6/5/2025  
 PLAN DATE: 6/5/2025

**ENGINEER'S OPINION OF PROBABLE COST**

<b>ITEM</b>	<b>QUANTITY</b>	<b>UNIT</b>	<b>UNIT PRICE</b>	<b>EXTENSION</b>
<b><u>SANITARY SEWER</u></b>				
8" PVC SDR 26 SANITARY SEWER	408	LF	\$45.00	\$18,360.00
DIRECTIONALLY DRILLED 8" SANITARY SEWER	170	LF	\$300.00	\$51,000.00
SANITARY MANHOLE, COMPLETE	4	EA	\$3,500.00	\$14,000.00
CONNECTION TO EXISTING STRUCTURE (INCLUDING TRAFFIC CONTROL, OPEN CUT & RESTORATION OF WINCHESTER RD)	1	EA	\$10,000.00	\$10,000.00
6" SANITARY SEWER SERVICES, (INCLUDING GTBF)	6	EA	\$2,000.00	\$12,000.00
TELEWISE, AIR TEST & MANDREL SEWER	578	LF	\$3.50	\$2,023.00
GRANULAR TRENCH BACKFILL	190	LF	\$50.00	\$9,500.00
LANDSCAPE RESTORATION WITHIN WINCHESTER RD ROW	1	LS	\$1,000.00	\$1,000.00
			<b>TOTAL SANITARY SEWER</b>	<b>\$117,883.00</b>
<b><u>WATER MAIN</u></b>				
8" DIP CL 52 WATER MAIN	250	LF	\$80.00	\$20,000.00
FIRE HYDRANT, COMPLETE	1	EA	\$6,000.00	\$6,000.00
1.5" SERVICE, COMPLETE WITH B-BOX & INCLUDING GTBF	6	EA	\$2,000.00	\$12,000.00
8"X8" PRESSURE CONNECTION COMPLETE W/VALVE VAULT	1	EA	\$8,000.00	\$8,000.00
GRANULAR TRENCH BACKFILL	80	LF	\$40.00	\$3,200.00
			<b>TOTAL WATER MAIN</b>	<b>\$49,200.00</b>
<b><u>STORM SEWER</u></b>				
18" RCP STORM SEWER CL III, w/C-443 JOINTS	204	LF	\$45.00	\$9,180.00
15" RCP STORM SEWER CL III, w/C-443 JOINTS	62	LF	\$40.00	\$2,480.00
12" RCP STORM SEWER CL IV, w/C-443 JOINTS	537	LF	\$35.00	\$18,795.00
TELEWISE STORM SEWER	803	LF	\$3.50	\$2,810.50
4' STORM CATCH BASIN, COMPLETE	1	EA	\$2,600.00	\$2,600.00
4' STORM MANHOLE, COMPLETE	5	EA	\$2,400.00	\$12,000.00
2' STORM MANHOLE, COMPLETE	1	EA	\$1,500.00	\$1,500.00
2' STORM INLET, COMPLETE	7	EA	\$1,500.00	\$10,500.00
6' OUTLET CONTROL STRUCTURES	1	EA	\$10,000.00	\$10,000.00
18" FES COMPLETE W/GRATE & RIP-RAP	1	EA	\$3,000.00	\$3,000.00
12" FES COMPLETE W/GRATE & RIP-RAP	2	EA	\$2,500.00	\$5,000.00
4" STORM SERVICE, COMPLETE	6	EA	\$500.00	\$3,000.00
GRANULAR TRENCH BACKFILL	410	LF	\$30.00	\$12,300.00
			<b>TOTAL STORM SEWER</b>	<b>\$93,165.50</b>

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<b><u>PAVING</u></b>				
1-1/2" HMA SURFACE COURSE MIX D N-50	1,110	SY	\$10.00	\$11,100.00
2-1/2" HMA BINDER COURSE MIX IL 19 N-50	1,110	SY	\$15.00	\$16,650.00
6" BITUMINOUS BASE COURSE	1,110	SY	\$30.00	\$33,300.00
4" AGGREGATE BASE COURSE, CA-6 COMPACTED	1,110	SY	\$6.00	\$6,660.00
B-6.12 CURB & GUTTER INCLUDING 3" STONE BEDDING	984	LF	\$27.00	\$26,568.00
EXISTING B-6.12 CURB & GUTTER REMOVAL	102	LF	\$10.00	\$1,020.00
5' SIDEWALK (5" PCC w/3" CA-6 BEDDING)	3,543	SF	\$7.00	\$24,801.00
PAVEMENT MARKINGS (24" WHITE STOP BAR)	1	LS	\$1,200.00	\$1,200.00
			<b>TOTAL PAVING</b>	<b>\$121,299.00</b>
<b><u>GRADING &amp; EROSION CONTROL</u></b>				
STRIP SITE AS NEEDED, CUT & FILL R.O.W. & PAVEMENT AREAS TO SUBGRADE. CUT & FILL BUILDING PADS TO SUBGRADE. FINE GRADE ROADWAY & BACKFILL CURB. CUT & FILL PONDS AND OPEN AREAS TO SUBGRADE. HAUL EXCESS MATERIAL OFFSITE, AND RESPREAD TOPSOIL ON POND AND OPEN AREAS,	1	LUMP SUM	\$350,000.00	\$350,000.00
CONSTRUCTION ENTRANCE	1	EA	\$5,000.00	\$5,000.00
CONCRETE WASHOUT (INC. MAINTENANCE)	1	EA	\$2,500.00	\$2,500.00
NAG S75 BLANKET AND SEED	5,100	SY	\$2.50	\$12,750.00
TEMPORARY HYDROSEED	8,030	SY	\$1.50	\$12,045.00
SILT FENCE	2,000	LF	\$3.00	\$6,000.00
DROP IN INLET FILTER BASKET	8	EA	\$350.00	\$2,800.00
STORM DRAIN INLET PROTECTION	4	EA	\$300.00	\$1,200.00
TREE CLEARING inc. STUMPING (ALLOWANCE)	1	EA	\$35,000.00	\$35,000.00
			<b>TOTAL GRADING &amp; EROSION CONTROL</b>	<b>\$427,295.00</b>

PEARSON, BROWN & ASSOCIATES, INC.  
 MEYER SUBDIVISION  
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<b>ITEM</b>	<b>QUANTITY</b>	<b>UNIT</b>	<b>UNIT PRICE</b>	<b>EXTENSION</b>
<b><u>STREET LIGHTING &amp; SIGNAGE</u></b>				
STREET LIGHTS COMPLETE	1	EA	\$7,500.00	\$7,500.00
RELOCATE EXISTING STREET LIGHT	1	EA	\$3,500.00	\$3,500.00
STREET SIGNS	1	EA	\$500.00	\$500.00
CONDUIT CROSSING	2	LS	\$1,500.00	\$3,000.00
		<b>TOTAL STREET LIGHTING &amp; SIGNAGE</b>		<b><u>\$14,500.00</u></b>
<b><u>MISCELLANEOUS</u></b>				
DEMOLITION COMPLETE	1	LS	\$50,000.00	\$50,000.00
		<b>TOTAL MISCELLANEOUS</b>		<b><u>\$50,000.00</u></b>

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<b><u>RECAPITULATION</u></b>				
SANITARY SEWER				\$117,883.00
WATER MAIN				\$49,200.00
STORM SEWER				\$93,165.50
PAVING				\$121,299.00
GRADING & EROSION CONTROL				\$427,295.00
STREET LIGHTING & SIGNAGE				\$14,500.00
MISCELLANEOUS				\$50,000.00
<b>TOTAL OPINION OF PROBABLE COST</b>				<b><u>\$873,342.50</u></b>

**NOTE:**  
 THIS ENGINEER'S OPINION OF PROBABLE COST HAS BEEN PREPARED BASED UPON THE ENGINEER'S EXPERIENCE AS A DESIGN PROFESSIONAL AND IS FURNISHED FOR INFORMATION ONLY. IT DOES NOT CONSTITUTE A GUARANTEE OF ACTUAL CONSTRUCTION COST AND DOES NOT INCLUDE THE FOLLOWING: ENGINEERING FEES, TAP ON FEES, PERMITS, DEWATERING OTHER THAN SPECIFICALLY LISTED ABOVE, TIGHT SHEETING, ANY WET OR DRY UTILITY RELOCATION NOT SPECIFICALLY INCLUDED ABOVE OR LANDSCAPING

ANY ITEM NOT SPECIFICALLY SHOWN IN THIS PEOPC ARE CONSIDERED INCIDENTAL TO THE COST OF THE PROJECT AND SHOULD BE INCLUDED IN THE UNIT PRICE FOR THE BID ITEMS LISTED ABOVE.



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12" RCP STORM SEWER CL IV, w/C-443 JOINTS	537	LF	\$35.00	\$18,795.00
TELEWISE STORM SEWER	803	LF	\$3.50	\$2,810.50
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12" FES COMPLETE W/GRATE & RIP-RAP	2	EA	\$2,500.00	\$5,000.00
4" STORM SERVICE, COMPLETE	6	EA	\$500.00	\$3,000.00
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4" AGGREGATE BASE COURSE, CA-6 COMPACTED	1,110	SY	\$6.00	\$6,660.00
B-6.12 CURB & GUTTER INCLUDING 3" STONE BEDDING	984	LF	\$27.00	\$26,568.00
EXISTING B-6.12 CURB & GUTTER REMOVAL	102	LF	\$10.00	\$1,020.00
5' SIDEWALK (5" PCC w/3" CA-6 BEDDING)	3,543	SF	\$7.00	\$24,801.00
PAVEMENT MARKINGS (24" WHITE STOP BAR)	1	LS	\$1,200.00	\$1,200.00
			<b>TOTAL PAVING</b>	<b>\$121,299.00</b>
<b><u>GRADING &amp; EROSION CONTROL</u></b>				
STRIP SITE AS NEEDED, CUT & FILL R.O.W. & PAVEMENT AREAS TO SUBGRADE. CUT & FILL BUILDING PADS TO SUBGRADE. FINE GRADE ROADWAY & BACKFILL CURB. CUT & FILL PONDS AND OPEN AREAS TO SUBGRADE. HAUL EXCESS MATERIAL OFFSITE, AND RESPREAD TOPSOIL ON POND AND OPEN AREAS,	1	LUMP SUM	\$350,000.00	\$350,000.00
CONSTRUCTION ENTRANCE	1	EA	\$5,000.00	\$5,000.00
CONCRETE WASHOUT (INC. MAINTENANCE)	1	EA	\$2,500.00	\$2,500.00
NAG S75 BLANKET AND SEED	5,100	SY	\$2.50	\$12,750.00
TEMPORARY HYDROSEED	8,030	SY	\$1.50	\$12,045.00
SILT FENCE	2,000	LF	\$3.00	\$6,000.00
DROP IN INLET FILTER BASKET	8	EA	\$350.00	\$2,800.00
STORM DRAIN INLET PROTECTION	4	EA	\$300.00	\$1,200.00
TREE CLEARING inc. STUMPING (ALLOWANCE)	1	EA	\$35,000.00	\$35,000.00
			<b>TOTAL GRADING &amp; EROSION CONTROL</b>	<b>\$427,295.00</b>

PEARSON, BROWN & ASSOCIATES, INC.  
 MEYER SUBDIVISION  
 245 WALNUT STREET, LIBERTYVILLE, ILLINOIS

JOB #: 2596  
 DATE: 6/5/2025  
 PLAN DATE: 6/5/2025

**ENGINEER'S OPINION OF PROBABLE COST**

<b>ITEM</b>	<b>QUANTITY</b>	<b>UNIT</b>	<b>UNIT PRICE</b>	<b>EXTENSION</b>
<b><u>STREET LIGHTING &amp; SIGNAGE</u></b>				
STREET LIGHTS COMPLETE	1	EA	\$7,500.00	\$7,500.00
RELOCATE EXISTING STREET LIGHT	1	EA	\$3,500.00	\$3,500.00
STREET SIGNS	1	EA	\$500.00	\$500.00
CONDUIT CROSSING	2	LS	\$1,500.00	\$3,000.00
			<b>TOTAL STREET LIGHTING &amp; SIGNAGE</b>	<b><u>\$14,500.00</u></b>
<b><u>MISCELLANEOUS</u></b>				
DEMOLITION COMPLETE	1	LS	\$50,000.00	\$50,000.00
			<b>TOTAL MISCELLANEOUS</b>	<b><u>\$50,000.00</u></b>

PEARSON, BROWN & ASSOCIATES, INC.  
 MEYER SUBDIVISION  
 245 WALNUT STREET, LIBERTYVILLE, ILLINOIS

JOB #: 2596  
 DATE: 6/5/2025  
 PLAN DATE: 6/5/2025

**ENGINEER'S OPINION OF PROBABLE COST**

<u>ITEM</u>	<u>QUANTITY</u>	<u>UNIT</u>	<u>UNIT PRICE</u>	<u>EXTENSION</u>
<b><u>RECAPITULATION</u></b>				
SANITARY SEWER				\$117,883.00
WATER MAIN				\$49,200.00
STORM SEWER				\$93,165.50
PAVING				\$121,299.00
GRADING & EROSION CONTROL				\$427,295.00
STREET LIGHTING & SIGNAGE				\$14,500.00
MISCELLANEOUS				\$50,000.00
<b>TOTAL OPINION OF PROBABLE COST</b>				<b><u>\$873,342.50</u></b>

**NOTE:**  
 THIS ENGINEER'S OPINION OF PROBABLE COST HAS BEEN PREPARED BASED UPON THE ENGINEER'S EXPERIENCE AS A DESIGN PROFESSIONAL AND IS FURNISHED FOR INFORMATION ONLY. IT DOES NOT CONSTITUTE A GUARANTEE OF ACTUAL CONSTRUCTION COST AND DOES NOT INCLUDE THE FOLLOWING: ENGINEERING FEES, TAP ON FEES, PERMITS, DEWATERING OTHER THAN SPECIFICALLY LISTED ABOVE, TIGHT SHEETING, ANY WET OR DRY UTILITY RELOCATION NOT SPECIFICALLY INCLUDED ABOVE OR LANDSCAPING

ANY ITEM NOT SPECIFICALLY SHOWN IN THIS PEOPC ARE CONSIDERED INCIDENTAL TO THE COST OF THE PROJECT AND SHOULD BE INCLUDED IN THE UNIT PRICE FOR THE BID ITEMS LISTED ABOVE.





# Illinois Environmental Protection Agency

1021 North Grand Avenue East • P.O. Box 19276 • Springfield • Illinois • 62794-9276 • (217) 782-3397

## Schedule A/B

This form must be typewritten or printed legibly. This form may be completed manually or online using Adobe Reader, a copy of it saved locally, printed, and signed before it is submitted to:

Illinois Environmental Protection Agency  
Permit Section, Division of Water Pollution Control  
1021 North Grand Avenue East  
P.O. Box 19276  
Springfield, IL 62794-9276

**Application for Sanitary Sewer:** (please check one or both boxes as applicable)

- Service Connection - Schedule A       Publicly Owned or Regulated Extensions - Schedule B

1. **Name of Project:** Meyer Subdivision

---

2. **Type of Service(s):**  Residential     Commercial     Light Industrial (Domestic Waste Only)  
(Check all that apply)     Manufacturing     Recreational     Other
3. **Nature of Project -**     Sewer Extension     Trunk Sewer     Replacement Sewer     New Sanitary Sewer  
Project Consists of:     Sewer Connection     Relief Sewer     Interceptor Sewer  
(Check all that apply)
4. **Project Location, Service Area and Population:** Submit map(s) of the service area that include the following:
  - 4.1 An 8½ × 11 inch detailed project location map or USGS map or USGS map showing the project with respect to major roadways. In lieu of this map, a letter from the Illinois Historic Preservation Agency indicating compliance with the Illinois Historic Preservation Act for this project may be submitted.
  - 4.2 The proposed sewer layout and project location.  
Township: 44N                      Section: 16                      Range: 11E
  - 4.3 Residential and/or non-residential areas and their associated waste loads to be immediately served by the sewers of this project.
  - 4.4 Potential residential and/or non-residential areas and their associated loads must be included in the overall design of the sewers of this project.
5. **Facilities Planning Area (FPA):**  
This project  is     is not    being constructed entirely within the Facilities Planning Area (FPA) boundaries.  
Name of FPA: Southeast Central Lake FPA
6. **Type of Development:** The following design criteria should be used in estimating the population equivalent (P.E.) of a residential building:
 

Efficiency or Studio Apartment	= 1 person
1 Bedroom Apartment	= 1.5 persons
2 Bedroom Apartment	= 3 people
3 Bedroom Apartment	= 3 people
Single Family Home	= 3.5 people
Mobile Home	= 2.25 people

*This Agency is authorized to require this information under Illinois Revised Statutes, 1979, Chapter 111 1/2, Section 1039. Disclosure of this information is required under that Section. Failure to do so may prevent this form from being processed and could result in your application being denied.*

**6.1 Residential Buildings**

Number of Building(s): 6 Number of Single Family Dwelling Building(s): \_\_\_\_\_

Number of Multiple Family Dwelling Building(s): 0

Estimated Total Population Equivalent: 21 P.E.

\*Please provide an itemized list for each multiple dwelling building including: Number of 1, 2, and 3 bedroom units; the total P.E. for each building and the total P.E. for multiple family dwellings.

**6.2 Non-Residential Buildings:** Describe use of building(s) - This box will expand as needed

Principal product(s) or activities - This box will expand as needed

Number of non-residential building(s) to be served under this Permit: 0

Non domestic liquid waste  is (see Section 6.5)  is not produced inside the building(s).

If liquid wastes other than domestic are produced, submit Schedule N.

Estimated number of employees: \_\_\_\_\_ Estimated number of occupants (transients): \_\_\_\_\_

Estimated population equivalent (one population equivalent is 100 gallons of sewage per day, containing 0.17 pounds of BODs and 0.20 pounds of suspended solids).

Flow P.E. \_\_\_\_\_ BOD P.E. \_\_\_\_\_ Suspended Solids P.E. \_\_\_\_\_

**6.3 Total Loading for project (sum of 6.1 and 6.2)**

Design Average Flow: 2100 GPD P.E. 3.57 BOD  
 Design Max. Flow: 8400 GPD P.E. 4.20 Suspended Solids

6.4 Commencing July 1, 2003, Section 12.2 of the Environmental Protection Act (415 ILCS 5/12.2, as amended by P.A. 93-32) requires the Agency to collect a fee for certain applications for the installation of sanitary sewer connections and extensions. Except for the conditions listed below, the following fee schedule shall apply:

Fee Dollars	Population Equivalents
100	1
400	2 - 20
800	21 - 100
1200	101 - 499
2400	500 or more

**Please send the appropriate fee based upon section 6.4 or 6.5;** certified or cashiers check made out to: "Treasurer, State of Illinois, Environmental Protection Permit and Inspection Fund" with the applicant's Federal Employee Identification Number (FEIN) appearing on the face of the check and submit along with this schedule. Any fee remitted to the Agency shall not be refunded at any time or for any reason, either in whole or in part.

*The Sewer Permit fee does not apply to:*

- a) Any Department, Agency or Unit of State Government
- b) Any unit of local government where **all** of the following conditions are met;
  - 1) The cost of the installation or extension is paid wholly from monies of the unit of local government, state grants or loans, federal grants or loads, or any combination thereof;
  - 2) The unit of local government is **NOT** given monies, reimbursed or paid, either in whole or in part, by another person (except for State grants or loans or federal grants or loans;
- c)
  - 1) Include a certified copy of the **budget item or the board or council minutes** which authorize the construction of this project with only local funds; **and**
  - 2) I/we hereby certify that subsections (b)(1), (b)(2) and (c)(1) have been met.

\_\_\_\_\_  
(Original Signature for Unit of Government)

6.5 A \$1,000 fee shall be required for any industrial wastewater source that does not require pretreatment of the wastewater prior to discharge to the publicly owned treatment works or publicly regulated treatment works.

7. **DEVIATION FROM DESIGN CRITERIA:** The design criteria for sewers are contained in the "Illinois Recommended Standards for Sewage Works", Current Edition. This submittal  does  does not include deviations from said criteria. **If deviations are included, justification for said deviations must be attached.**

8. **INFILTRATION/EXFILTRATION LIMITS:** 100 gallons per inch diameter of sewer pipe per mile per day.

9. **SUMMARY OF SEWERS:**

Submit plan and profile drawings for all sanitary sewer extensions and for all sanitary sewer connections where either the domestic wastewater source serves more than one building, where the domestic wastewater source is 15 P.E. or more, where non-domestic waste is produced or where the connection is not direct to either a publicly-owned or publicly-regulated sewer.

	Service Connections		Publicly Owned or Regulated Extensions			
Pipe size – inches		6	8			
Total Length – feet		270	584			
Min. slope used - %		1.00	0.60			
Max. slope used - %		4.00	2.2			
Min. cover over sewers - feet (3' minimum)		5	7'			
Pipe Material & Specs.		PVC SDR 26 ASTM D-3034	PVC SDR 26 ASTM D-3034			
Joint Material & Specs.		ASTM D-3212	ASTM D-3212			
Total Manholes		N/A	4			
Max. Distance Between Manholes		N/A	235			
Bedding Class for Rigid Pipe (A, B, or C per ASTM C12)						
Bedding Class for Flexible Pipe (IA, IB, II, or III per ASTM D2321-89)		IA	IA			

9.1 Is the project located in a flood plain?  Yes  No If yes, contact the Illinois Department of Natural Resources, Division of Water Resources Management for further permit requirements.

9.2 Are watertight manhole covers used on all manholes where the manhole tops are below cover or where the tops may be flooded by surface runoff or high water?  Yes  No

**10. EROSION CONTROL:**

The design criteria for Erosion Control are contained in the "Illinois Urban Manual" Current Edition, distributed by the National Resource Conservation Service. This submittal  does  does not include deviation from said criteria. If deviations are included, justification for said criteria must be attached. (See instructions for Schedule P to determine if Schedule P must be submitted.)

**11. EXISTING SEWER SYSTEM:**

A. This project will connect to one of the following:

- |   |   |
|---|---|
| 1. <input checked="" type="radio"/> Existing sanitary sewer | 4. <input type="radio"/> Permitted combined sewer |
| 2. <input type="radio"/> Existing combined sewer            | 5. <input type="radio"/> Proposed sanitary sewer  |
| 3. <input type="radio"/> Permitted sanitary sewer           | 6. <input type="radio"/> Proposed combined sewer  |

If permitted but not constructed and operational provide permit number \_\_\_\_\_

B. Size and location of downstream sewer(s): - This box will expand as needed

Existing 10" Village of Libertyville sanitary sewer located in the intersection of E. Winchester Rd and Sandstone Dr.

12. **WATER SUPPLY PROTECTION:**

The horizontal and/or vertical separation between sanitary sewers and water mains is in accordance with Section 370.350 of the Illinois Recommended Standards for Sewage Works.  Yes  No

The location of proposed and existing watermain(s) must be shown in both the plan and profile views on plan sheet(s) for each water-sewer line crossing and at all locations within 10 feet horizontal distance of the proposed sewer line. Detailed drawing(s) for crossings, either typical or site-specific, shall be shown on the plan sheet(s).

12.1 **HORIZONTAL SEPARATION:**

All sewer line(s) is(are) 10 feet from water line(s)  Yes  No

If no, provide justification AND describe the precautionary features against contamination

All proposed forcemain(s) 10' from water line(s)  Yes  No  N/A

12.2 **VERTICAL SEPARATION:**

A. The water line(s) is/are at least 18 inches above the sewer line(s):  Yes  No

If no, continue with 12.2.B and provide justification below as to why this is not possible and describe precautionary measures taken to prevent contamination.

B. The water line(s) is/are above the sewer lines(s) but less than 18 inches:  Yes  No

If no, continue with 12.2.C and provide justification below as to why this is not possible and describe precautionary measures taken to prevent contamination.

C. The water line(s) is/are at least 18 inches below the sewer line(s):  Yes  No

If no, provide justification below as to why this is not possible and describe precautionary measures taken to prevent contamination.

Justification and Precautionary Measures: - This box will expand as needed

All water lines are at least 18" above the sewer lines

12.3 Proximity to wells, reservoirs, and other potable water sources:  Yes  N/A

If yes, minimum distance, in feet \_\_\_\_\_

Describe precautionary measures taken to avoid contamination.

Location of all potable water sources shown on plan sheets.  Yes  No  No Known Sources

13. **PIPE AND MANHOLE TESTING:**

	Yes	No
Is infiltration testing included in plans, specifications, or special provisions?	<input checked="" type="radio"/>	<input type="radio"/>
Is exfiltration test included in plans, specifications, or special provisions?	<input type="radio"/>	<input checked="" type="radio"/>
Is air testing included in plans, specifications, or special provisions?	<input checked="" type="radio"/>	<input type="radio"/>
Leakage testing for manholes included in plans, specifications, or special provisions?	<input checked="" type="radio"/>	<input type="radio"/>

14. **FLEXIBLE PIPE TESTING:**

Is deflection test included in plans, specifications, or special provisions in accordance with the Illinois Recommended Standards for Sewage Works, Current Edition?  Yes  No  N/A

15. **MISCELLANEOUS REQUIREMENTS**

The following requirements should be included on the plan sheets where so indicated. For items where this is not specified, the requirements may be on the plan sheets, in the specifications, or in the special provisions:

- 15.1 Standard Specifications for Water and Sewer Main Construction in Illinois, Current Edition, govern the construction of this project.  Yes  No If no, provide specifications.
- 15.2 Pipe and joint ASTM/AWWA designation included on plan sheets.  Yes  No
- 15.3 All flexible gravity sewer pipe installed in accordance with ASTM D2321-89; embedment materials for bedding, haunching, and initial backfill to at least 6 inches over the top of the pipe with Class IA or IB or II or III; processed material produced for highway construction used in the project classified according to particle size, shape, and gradation in accordance with ASTM D2321-89, Section 9 and Table 1.  Yes  No  N/A
- 15.4 All rigid gravity sewer pipe installed in accordance with ASTM C12 and bedding material Class A, B, or C.  
 Yes  No  N/A
- 15.5 Pickholes in all manholes likely to be flooded not larger than 1 inch in diameter and of the concealed type.  
 Yes  No  N/A
- 15.6 All manholes numbered.  
 Yes  No  N/A
- 15.7 Match lines shown on all plan sheets.  
 Yes  No  N/A

**Instructions for Application for Construction/Operation Permit for Erosion Control  
Schedule P**

This schedule must be submitted if construction involves excavation or removal of natural vegetation from an area for purpose of construction of sewers greater than 15 inches diameter, of all sewage treatment plants and lift stations, and of all sewer extensions and connections longer than 2000 feet in total length.

1. The name of the project must be the same as that indicated on WPC-PS-1.
2. Total area may be in acres or in square feet.
3. Summarize erosion control practices in appropriate unit of measure. If area controlled is in units other than square feet, indicate the unit of measure.
4. Clearly delineate erosion control practices on plan map, with legends, if necessary.
5. Drainage area may be in square feet or acres; please indicate unit of measure.
6. Slope categories.

6.1-6.4 Area may also be expressed in square feet. If so, please indicate.

Examples of Disposition: Relocated to fill area and reseeded.

Replaced soil on eroded area and reseeded.

This Agency is authorized to require this information under Illinois Revised Statutes, 1979, Chapter 111 1/2, Section 1039. Disclosure of this information is required under that section. Failure to do so may prevent this form from being processed and could result in your application being denied.

**For IEPA Use:**  
 LOG # \_\_\_\_\_  
 DATE RECEIVED: \_\_\_\_\_

**ILLINOIS ENVIRONMENTAL PROTECTION AGENCY  
 DIVISION OF WATER POLLUTION CONTROL  
 PERMIT SECTION  
 Springfield, Illinois 62794-9276**

**Schedule P - Erosion Control**

1. Name of Project \_\_\_\_\_
2. Total area disturbed by excavation: \_\_\_\_\_
3. Summary of erosion control practices:

		Area Controlled (Sq. Ft.)	Permanent (P) or Temporary (T)
Vegetative Control	_____ (Sq. Feet)	_____	_____
Interceptor Ditches	_____ (Feet)	_____	_____
Berms	_____ (Feet)	_____	_____
Sediment Basins	_____ (Cu. Yd.)	_____	_____
Debris Basins	_____ (Cu. Ft.)	_____	_____
Desilting Basins	_____ (Cu. Ft.)	_____	_____
Silt Traps	_____ (Cu. Ft.)	_____	_____
Mulching and Matting	_____ (Cu. Ft./Sq. Ft.)	_____	_____
Other	_____ (Indicate)	_____	_____

4. Attach topographical or plan maps of construction area and indicate erosion control practices.
5. Drainage area (above and including construction site) \_\_\_\_\_
6. Slope categories of construction site:

	Area (acres)	Disposition of collected sediment
6.1 0 - 2% slope	_____	_____
6.2 2 - 4% slope	_____	_____
6.3 4 - 6% slope	_____	_____
6.4 6% slope or greater	_____	_____

Please check one below.

Erosion control practices identified above will be constructed in accordance with Illinois Urban Manual, 1995.

OR

Plans or specifications for the above referenced erosion control practices are attached.



# Illinois Environmental Protection Agency

1021 North Grand Avenue East • P.O. Box 19276 • Springfield • Illinois • 62794-9276 • (217) 782-3397

## Application for Permit or Construction Approval WPC-PS-1

For IEPA Use Only

This form must be typewritten or printed legibly. This form may be completed manually or online using Adobe Reader, a copy of it saved locally, printed, and signed before it is submitted to:

Illinois Environmental Protection Agency  
Permit Section, Division of Water Pollution Control  
1021 North Grand Avenue East  
P.O. Box 19276  
Springfield, IL 62794-9276

Reset All Fields

1. Owner Name: Come Tomorrow, LLC
- Name of Project: Meyer Subdivision
- Project Location Address (include nearest street and city address): 245 Walnut Street
- City: Libertyville Zip Code: 60048
- Township: 44N (Libertyville) County: Lake

2. Brief Description of the Project:

Construction of sanitary sewer to serve 6 single-family residential lots

3. Documents being Submitted: If the Project involves any of the items listed below, submit the corresponding schedule, and check the appropriate boxes

	Schedule		Schedule
Private Sewer Connection/Extensions	A/B <input checked="" type="checkbox"/>	Spray Irrigation	H <input type="checkbox"/>
Sewer Extension Construction Only	C <input type="checkbox"/>	Septic Tanks	I <input type="checkbox"/>
Sewage Treatment Works	D <input type="checkbox"/>	Industrial Treatment/Pretreatment	J <input type="checkbox"/>
Excess Flow Treatment	E <input type="checkbox"/>	Waste Characteristics	N <input type="checkbox"/>
Lift Station/force Main	F <input type="checkbox"/>	Erosion Control	P <input checked="" type="checkbox"/>
Fast Track Service Connection	FTP <input type="checkbox"/>	Trust Disclosure	T <input type="checkbox"/>
Sludge Disposal	G <input type="checkbox"/>		

Plans:

Title: Meyer Subdivision No. of Pages: 15

Specifications:

Title: Included on plans No. of Books/Pages: \_\_\_\_\_

Other Documents: \_\_\_\_\_  
(Please specify)

3.1 Illinois Historic Preservation Agency approval letter  Yes  No

(If you have a copy of the IHPA approval letter, please send in with the Permit Application Package)

4. Land Trust: Is the project identified in item Number 1 therein, for which a permit is requested, to be constructed on land which is the subject of a trust?  Yes  No

If yes, Schedule T (Trust Disclosure) must be completed and item 7.1.1 must be signed by a beneficiary trustee or trust officer.

5. This is an application for (Check appropriate box):

- A. Joint Construction and Operating Permit
- B. Authorization to Construct (See Instructions) NPDES Permit No. IL00: \_\_\_\_\_ Issuance Date: \_\_\_\_\_
- C. Construction Only Permit (Does Not Include Operations)
- D. Operate Only Permit (Does Not Include Construction)
- E. Supplemental Permit Request to Existing State Construction or Operating Permit No.: \_\_\_\_\_  
Issuance Date: \_\_\_\_\_

6. Certifications and Approval

6.1 Certificate by Design Engineer (When required: refer to instructions)

I hereby certify that I am familiar with the information contained in this application, including the attached schedules indicated above, and that to the best of my knowledge and belief such information is true, complete and accurate. The plans and specifications (specifications other than Standard Specifications or local specifications on file with this Agency) as described above were prepared by me or under my direction.

Licensed Professional Engineer's Name: Angelo Zografos, P.E.

Licensed Professional Engineer's Title: Associate

Registration Number: 062-062725 License Expiration Date: 11/30/2023

Company: Pearson, Brown & Associates, Inc.

Street Address: 1850 W. Winchester Rd, Suite 205 PO Box: \_\_\_\_\_

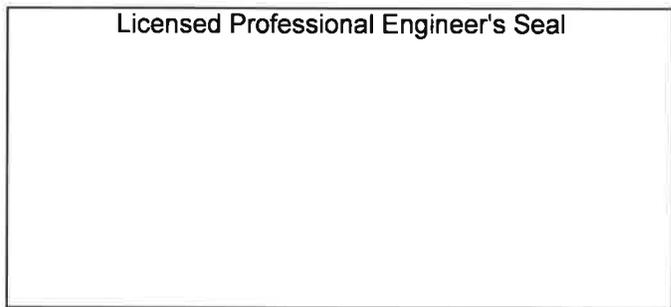
City: Libertyville State: IL Zip + 4: 60048

Email Address: angelo@pearsonbrown.com Phone: 847-367-6707

Printed Name: Angelo Zografos

\_\_\_\_\_  
Original Signature

\_\_\_\_\_  
Date



7. Certifications and Approvals for Permits:

7.1 Certificate by Applicant(s):

I/We hereby certify that I/we have read and thoroughly understand the conditions and requirements of this Application, and am/are authorized to sign this application in accordance with the Rules and Regulations of the Illinois Pollution Control Board. I/we hereby agree to conform with the Standard conditions and with any other Special Conditions made part of this Permit.

7.1.1 Name of Applicant for Permit to Construct: Charlie Meyer

Title: Owner Organization: Come Tomorrow, LLC

Street Address: 1700 Franklin Blvd PO Box: \_\_\_\_\_

City: Libertyville State: IL Zip + 4: 60048

Email Address: cmeyer@wmwmeyer.com Phone: 847-230-5400

Printed Name: Charlie Meyer

\_\_\_\_\_  
Original Signature

\_\_\_\_\_  
Date

7.1.2 Name of Applicant for Permit to Own and Operate: Village of Libertyville

Title: Director of Public Works

Organization: Village of Libertyville

Street Address: 200 E. Cook Avenue

PO Box: \_\_\_\_\_

City: Libertyville

State: IL

Zip + 4: 60048

Email Address: pkendzior@libertyville.com

Phone: 847-918-2100

Printed Name: Paul Kendzior, P.E., C.F.M.

\_\_\_\_\_  
Original Signature

\_\_\_\_\_  
Date

7.2 Attested (Required When Applicant is a Unit of Government)

Title: \_\_\_\_\_

(City clerk, Village Clerk, Sanitary District Clerk, etc.)

\_\_\_\_\_  
Original Signature

\_\_\_\_\_  
Date

7.3 Applications from non-governmental applicants which are not signed by the owner, must be signed by a principal executive officer of at least the level of vice president, or a duly authorized representative.

7.4 Certificate by Intermediate Sewer Owner

I hereby certify that (Please check one):

1. The sewers to which this project will be tributary have adequate reserve capacity to transport the wastewater that will be added by this project without causing a violation of the Illinois Environmental Protection Act or Subtitle C, Chapter I, or
2. The Illinois Pollution Control Board, in PCB \_\_\_\_\_ dated \_\_\_\_\_ granted a variance from Subtitle C, Chapter I to allow construction of facilities that are the subject of this application.

Name and location of sewer system to which this project will be tributary:

Existing 10" sanitary sewer at the intersection of E. Winchester Rd and Sandstone Dr.

Sewer System Owner: Village of Libertyville

Address: 200 E. Cook Avenue

City: Libertyville

State: IL

Zip + 4: 60048

Email Address: pkendzior@libertyville.com

Phone: 847-918-2100

Printed Name: Paul Kendzior, P.E., C.F.M.

\_\_\_\_\_  
Original Signature

\_\_\_\_\_  
Date

7.4.1 Additional Certificate by Intermediate Sewer Owner

I hereby certify that (Please check one):

- 1. The sewers to which this project will be tributary have adequate reserve capacity to transport the wastewater that will be added by this project without causing a violation of the Illinois Environmental Protection Act or Subtitle C, Chapter I, or
- 2. The Illinois Pollution Control Board, in PCB \_\_\_\_\_ dated \_\_\_\_\_ granted a variance from Subtitle C, Chapter I to allow construction of facilities that are the subject of this application.
- 3. Not applicable.

Name and location of sewer system to which this project will be tributary:

Lake County Interceptor running along the DesPlaines River

Sewer System Owner: Lake County Public Works

Address: 650 Winchester Road

City: Libertyville State: IL Zip + 4: 60048

Email Address: \_\_\_\_\_ Phone: (847) 377-7500

Printed Name: \_\_\_\_\_

\_\_\_\_\_  
Original Signature

\_\_\_\_\_  
Date

7.5 Certificate by Waste Treatment Works Owner

I hereby certify that (Please check one):

- 1. The wastewater treatment plant to which this project will be tributary has adequate reserve capacity to treat the wastewater that will be added by this project without causing a violation of the Illinois Environmental Protection Act or Subtitle C, Chapter I, or
- 2. The Illinois Pollution Control Board, in PCB \_\_\_\_\_ dated \_\_\_\_\_ granted a variance from Subtitle C, Chapter I to allow construction and operation of the facilities that are the subject of this application.
- 3. I also certify that, if applicable, the industrial waste discharges described in the application are capable of being treated by treatment works.
- 4. Not applicable.

Name of Waste Treatment Works: Village of Libertyville WWTP

Waste Treatment Works Owner: Village of Libertyville

Address: 200 E. Cook Avenue

City: Libertyville State: IL Zip + 4: 60048

Email Address: pkendzior@libertyville.com Phone: 847-918-2100

Printed Name: Paul Kendzior, P.E., C.F.M.

\_\_\_\_\_  
Original Signature

\_\_\_\_\_  
Date

Save Form with New Name

Print Form



# Illinois Environmental Protection Agency

1021 North Grand Avenue East • P.O. Box 19276 • Springfield • Illinois • 62794-9276 • (217) 782-3397

## Division of Public Water Supplies Application for Construction Permit

The regulations referenced in this application are taken from the Illinois Environmental Protection Act, 2007. All subsequent rules, regulations, and violations listed in this document can be found within the Act. This application may be completed online, a copy saved locally, and printed before it is signed and mailed to the Illinois EPA.

- 1. Name of Public Water Supply: Village of Libertyville
- 2. Facility ID: IL0970900 County: Lake
- 3. Location of Project: 245 Walnut Street, Libertyville, IL
- 4. Title of Plans: Meyer Subdivision

Number of Construction Drawings: 15

- 5. Documents being Submitted:
 

<input checked="" type="checkbox"/> Application for Construction Permit	<input type="checkbox"/> Engineer's Design Summary
<input checked="" type="checkbox"/> Schedule A - Cost Estimate	<input type="checkbox"/> Schedule C-I Well Drilling Only
<input checked="" type="checkbox"/> Schedule B - Water Main Construction	<input type="checkbox"/> Schedule C-II Well Completion
<input type="checkbox"/> Specifications	<input checked="" type="checkbox"/> Permit Fee (Applicable Water Main Only)
<input checked="" type="checkbox"/> Construction Drawings	

6. Scope of Project:

Installation of a Watermain, Valve, & Hydrants for a proposed 6 lot single-family residential subdivision.

- 7. Illinois Commerce Commission: Are you a privately owned water company subject to Illinois Commerce Commission rules?  Yes  No
- 8. Infringement on **Other Public Water Supplies**: Will any part of this project be located within the boundaries of an area served by another PWS?  Yes  No

9. Certifications

**NOTE: Each person signing this application certifies that the information in the application is complete and accurate, and that the text of the application has not been changed from the Agency's official construction permit application form.**

9.1) Certificate by Design Engineer

I hereby certify that I am familiar with the information contained in this application, and that to the best of my knowledge and belief such information is true, complete and accurate.

Name Angelo Zografos, P.E. Registration Number 062.062725

Firm Pearson, Brown & Associates, Inc.

Address 1850 W. Winchester Road, Suite 205

City Libertyville State IL Zip 60048

Phone Number (847) 367-6707 Email (optional) angelo@pearsonbrown.com

\_\_\_\_\_  
Signature

\_\_\_\_\_  
Date

9.2) Certificate by Applicant(s) to Construct

I hereby certify that I have read and thoroughly understand the conditions and requirements of this submittal. I/the representative company hereby agree to conform with the Standard Conditions and any Special Conditions made part of this Construction Permit.

Name Come Tomorrow, LLC

Address 1700 Franklin Blvd

City Libertyville State IL Zip 60048 Phone Number (847) 513-5184

\_\_\_\_\_  
Signature

\_\_\_\_\_  
Date

9.3) Water Main Fees

Section 16.1 of the Illinois Environmental Protection Act (Act) requires the Agency to collect a fee for certain applications for the installation or extension of water mains. There are no permit fees for other improvements (for example, treatment facilities) to public water supply systems and only certain water main projects are affected. The Agency will not approve any construction application without the required fee. Except for the conditions listed in Section 9.4, the following fee schedule applies per Section 16.1(d) of the Act:

**Fee : Total Length of Water Main**

- \$ 0 : 200 feet or less
- \$ 240 : Greater than 200 feet but not more than 1,000 feet
- \$ 720 : Greater than 1,000 feet, but not more than 5,000 feet
- \$1200 : Greater than 5,000 feet

Please check the appropriate fee; make check or money order payable to: *Treasurer, State of Illinois* and submit along with this application. Any fee remitted to the Agency shall not be refunded at any time or for any reason, either in whole or in part.

9.4) Water Main Fee Exceptions - READ CAREFULLY BEFORE SIGNING THE FOLLOWING

The Water Main Permit fee does not apply to:

- a. Any Department, Agency or Unit of State Government.
- b. Any unit of local government where all of the following conditions are met:
  - i. The cost of the installation or extension is paid wholly from monies of the unit of local government, state grants or loans, federal grants or loans, or any combination thereof.
  - ii. The unit of local government is not given monies, reimbursed or paid, either in whole or in part, by another person (except for State grants or loans or federal grants or loans).

I, \_\_\_\_\_ hereby certify that this project meets the above criteria.  
(Unit of local government & signature of authorized official)

**DO NOT SIGN HERE UNLESS PROJECT MEETS FEE EXCEPTION CRITERIA.**

9.5) Agreement to Furnish Water (this section must be completed if applicable)

The \_\_\_\_\_ Village of Libertyville \_\_\_\_\_ has agreed to furnish water to the area in which  
(City, Town, Village, Water Company or Water Authority)

water main extensions are proposed by \_\_\_\_\_ Come Tomorrow, LLC \_\_\_\_\_  
(Applicant to construct)

according to plans titled \_\_\_\_\_ Meyer Subdivision \_\_\_\_\_

prepared by \_\_\_\_\_ Pearson, Brown & Associates, Inc. \_\_\_\_\_  
(Engineering Firm)

The undersigned acknowledges the public water supply's responsibility for examining the plans and specifications to determine the proposed extensions meet local laws, regulations, and ordinances.

\_\_\_\_\_  
Signature of authorized public water supply official Title Date

9.6) Certification by Owner(s) of Completed Public Water Supply Improvement(s)

I hereby certify that I have read and thoroughly understand the conditions and requirements of this submittal. I hereby agree to accept ownership of the project upon satisfactory completion.

\_\_\_\_\_  
Village of Libertyville IL0970900  
Name of Public Water Supply Facility ID

\_\_\_\_\_  
200 E. Cook Avenue Libertyville IL 60048  
Address City State Zip

\_\_\_\_\_  
Signature of authorized public water supply official Date

\_\_\_\_\_  
Printed name of authorized public water supply official Printed title of authorized public water supply official

**NOTE:** Applications signed by a person other than a responsible municipal official, corporation officer, or owner, must be accompanied by evidence of authority to sign the applications, unless documentation of such authority is on file with the Division of Public Water Supplies.

**Felony Warning:** Any person who knowingly makes a false, fictitious, or fraudulent material statement, orally or in writing, to the Illinois EPA commits a Class 4 felony. A second or subsequent offense after conviction is a Class 3 felony (415 ILCS 5/44(h)).

This Agency is authorized to require this information under Illinois Compiled Statutes, 415 ILCS 5/39 (2000). Disclosure of this information is required under that Section. Failure to do so may prevent this form from being processed and could result in your application being denied.



# Illinois Environmental Protection Agency

1021 North Grand Avenue East • P.O. Box 19276 • Springfield • Illinois • 62794-9276 • (217) 782-3397

## Division of Public Water Supplies, Permit Section Schedule B - Water Main Construction

*This form may be completed within Acrobat, a copy saved locally, and printed before it is signed. You may also complete a printed copy manually. Submit the completed and signed form to the Illinois EPA, Division of Public Water Supplies, Permit Section at the address listed above.*

Name of Public Water Supply: Village of Libertyville

ID# IL: 0970900

Project Title: Meyer Subdivision

1. Check the appropriate boxes to indicate the specifications to be used for the water main:

- A. Standard Specifications for Water and Sewer Main Construction in Illinois (2014 Edition)
- B. Engineer's approved specifications on file with this Agency
- C. Public Water Supply approved specifications on file with this Agency
- D. Specifications submitted with the plan documents

2. Existing Population served by present supply: 21,200

3. Population to be served by water main extension: 21

4. Average daily pumpage from water works: 2.6 (MGD)

5. Maximum day pumpage from water works: 5.4 (MGD)

6. Capacity of water works: 7 (MGD)

7. Capacity of raw water source: 46 (MGD)

8. Capacity of existing line(s) at connection point(s): 1.2 (MGD)

9. Capacity of proposed water main extension or system: 1.2 (MGD)

10. Normal expected operating pressure on proposed water main extension: 45 (PSI)

11. Minimum expected operating pressure on proposed water main extension: 30 (PSI)

12. Pressure at point of connection at present maximum demand: 45 (PSI)

13. Calculated pressure at point of connection under maximum demand conditions after installation of water main: 42 (PSI)

14. Water mains to be installed must be listed below:

Pipe size (inches)		8				
Total Length (feet)		250				

15. Provide the general material specifications and type of joints:

DIP Class 52, ANSI A-21.51, Joints shall conform to ANSI A-21.11

This Agency is authorized to request this information under 415 ILCS 5/4(b)(2012). Disclosure of this information is voluntary and no penalties will result from the failure to provide the information. However, the absence of the information could prevent your application from being processed or could result in denial of your application from being or could result in denial of your application for certification. This form has been approved by the Forms Management Center.

16. Depth of Cover: 5.5'

17. Disinfection:

A. Chemical Used: Chlorine

B. Initial Disinfectant Concentration: 50 (mg/L)

C. Final Disinfectant Concentration: 25 (mg/L)

D. Retention Time: 24 (hrs)

E. Provisions must be made for collection of water samples to be collected for bacteriological analysis on two consecutive days taken at 24-hour intervals.

18. Sewer and Water Separation:

Minimum horizontal and vertical separation requirements of this Agency to be followed:  Yes  No

If "No", explain provisions for protection of water main:

19. List all deviations from this Agency's design criteria and state justifications for deviations.

20. Is this project located in a flood plain?  Yes  No *(Please locate the project site using the FEMA Map Service Center website at: <https://msc.fema.gov/>.)*

If yes, contact the Illinois Department of Natural Resources, Division of Water Resources Management for further permit requirements.

IEPA - DIVISION OF PUBLIC WATER SUPPLIES - PERMIT SECTION  
SCHEDULE A - ENGINEER'S COST ESTIMATE

Requests by various agencies and state and federal representatives for information on the cost of water works improvements have been numerous. Therefore, we feel there is a need for obtaining and compiling this information. We would appreciate your cooperation by supplying us with this data with each set of plans and specifications. Please submit the cost data with each of your projects sent in for approval.

1. Name of Public Water Supply \_\_\_\_\_  
\_\_\_\_\_

2. SOURCE

A. Stream intake, impoundment.	\$ _____	
B. Well (s).	\$ _____	
C. Others	\$ _____	
	TOTAL	\$ _____

3. TREATMENT

A. Aeration facilities and detention basins.	\$ _____	
B. High service pumps.	\$ _____	
C. Filtration and/or ion exchange softening	\$ _____	
D. Mixing and settling basins and/or flocculation equipment.	\$ _____	
E. Chlorination and fluoridation equipment.	\$ _____	
F. Recarbonation, chemical feeders, chemical handling equipment	\$ _____	
G. Lab, buildings and miscellaneous.	\$ _____	
	TOTAL	\$ _____

4. WASTE DISPOSAL FACILITIES

A. Pumps and piping.	\$ _____	
B. Holding structures	\$ _____	
C. Treatment unit.	\$ _____	
	TOTAL	\$ _____

5. STORAGE

A. Ground level tank(s).	\$ _____	
B. Elevated tank(s).	\$ _____	
C. Pressure tank(s).	\$ _____	
	TOTAL	\$ _____

6. DISTRIBUTION SYSTEM

A. Feeder mains, booster pump(s) and station(s).	\$ _____	
B. Water main extension(s)	\$ _____	
C. Complete distribution.	\$ _____	
	TOTAL	\$ _____

7. TOTAL PROJECT COST \$ \_\_\_\_\_

IL 532-0843

This Agency is authorized to require this information under Illinois Compiled Statutes, 1415 ILCS 5/39 (1998). Disclosure of this information is required under that Section. Failure to do so may prevent this form from being processed and could result in your application being denied. This form has been approved by the Forms Management Center.



April 4, 2025

Village of Libertyville  
200 East Cook Avenue  
Libertyville, IL 60048

Attention: Mr. Jeff Cooper. PE

Subject: ***Proposed Residential Development  
245 Walnut Street  
Libertyville, Lake County, IL  
Preliminary Engineering Stormwater Review No. 2***

At the request of the Village of Libertyville, Kimley – Horn and Associates, Inc. has completed a review of the above referenced project. The purpose of this review was to evaluate the preliminary engineering plan for conformance of the proposed development with respect to the Lake County Watershed Development Ordinance (WDO).

The following item was provided for review:

- Preliminary Engineering Plans for Meyer Subdivision, 245 Walnut Street, prepared by Pearson, Brown & Associates, Inc, dated January 7, 2025, Revised March 21, 2025.

We have reviewed the material provided and determine the preliminary engineering plan is in general conformance with the WDO. The recent plan revision included the addition of a better-defined emergency overflow swale and berm used to convey flow towards the Des Plaines River. No additional calculations of the swale were provided and will be required as part of final engineering.

The comments provided as part of the February 2024 conditional approval letter remain outstanding. As part of final engineering, the following comments will be required to be addressed:

1. A watershed development permit application for the proposed development signed by all applicable parties should be provided for review.  
**The WDP application is included as requested.**
2. If applicable, approval from the following agencies should be provided to the Village:
  - a. US Army Corps of Engineers (if applicable) **N/A**
  - b. Illinois Environmental Protection Agency **To be provided once received.**
  - c. Lake County Stormwater Management Commission (if applicable) **N/A**
3. The development will hydrologically disturb greater than 1 acre and will require an Illinois Environmental Protection Agency (IEPA) National Pollution Discharge Elimination System (NPDES) ILR10 Permit prior to issuance of the development permit. This should be provided upon receipt.  
**Comment noted, the permit will be provided upon receipt.**
4. Should a portion of the site remain within the limits of Unincorporated Lake County, additional approvals from Lake County Planning, Building and Development will be required, or all annexation documents shall be provided to the Village for review and approval.  
**The intent is to annex the unincorporated portion into Libertyville.**

5. A portion of the site was previously developed prior to 1992. The original development included approximately 0.23 acres of impervious surface associated with a structure and driveway access. This impervious area pre-dates the Lake County Watershed Development Ordinance (WDO) and is therefore considered exempt from stormwater detention.

Comment noted.

6. During final engineering the following items will be required prior to permit issuance:
  - a. Stormwater conveyance calculations. This includes storm sewer sized for the flow rate associated with the 10-year rainfall event and overland flow route calculations adequately sized to pass the peak flow rate associated with the 100-year rainfall event. All overland flow routes must be sized to provide adequate freeboard protection to all proposed structures.
  - b. Description of how Runoff Volume Reduction measures will be incorporated into the overall design of the site.
  - c. A detailed soil erosion and sediment control plan will be required with all applicable details, construction sequencing and standard Lake County notes.
  - d. A detailed stormwater management report that includes all applicable calculations.
  - e. Calculations verifying that the water quality treatment requirements of the WDO are provided within the development.

The requested items are provided as requested.

7. The development is located adjacent to the Regulatory Floodplain associated with the Des Plaines River. Any proposed floodplain fill will require hydraulically equivalent compensatory storage at a 1.2:1 cut to fill ratio.

Comment noted, floodplain fill and compensatory storage calculations are provided.

8. Calculations should be provided demonstrating the peak flow associated with the stormwater management basin emergency overland flow route can be safely conveyed to the Des Plaines River without negative impact to adjacent parcels.

Calculations are provided in the stormwater report.

9. Prior to permit closeout, the following items will be required:
  - a. As-Built survey of all stormwater management features including but not limited to:
    - i. Stormwater Management Basins
    - ii. Storm Sewer
    - iii. Critical overland flow path locations
  - b. Placement of all stormwater management features in a deed or plat restriction.
  - c. Maintenance plan for all stormwater features that clearly identifies the maintenance task, the frequency the tasks are performed and funding source.

Comment noted.

10. Additional comments may be provided upon receipt and review of the requested information.

Comment noted.

Please do not hesitate to contact me via phone (847.651.0909) or email at [Scott.Griffith@kimley-horn.com](mailto:Scott.Griffith@kimley-horn.com) with any questions.

Sincerely,

A handwritten signature in black ink that reads "J. Scott Griffith". The signature is written in a cursive, flowing style.

Scott Griffith, P.E.  
Kimley-Horn and Associates, Inc.

K:\CHS\_WaterResources\168586XXX-Libertyville Reviews\NonResidential\439 - 245 Walnut\L1.245WalnutPrelim.04042025.docx

<b>245 WALNUTMEYER SUBDIVISION FINAL LANDSCAPE PLAN</b>				
Opinion of Probable Cost				
Prepared by Teska, based on final landscape plan (06.05.2025)				
<b>LANDSCAPE</b>				
CANOPY TREE, 2.5" Cal	30	EACH	\$ 900.00	\$ 27,000.00
ORNAMENTAL TREE, 6' Ht	19	EACH	\$ 750.00	\$ 14,250.00
EVERGREEN TREE, 6' Ht	25	EACH	\$ 750.00	\$ 18,750.00
SHRUB PLANTINGS, 2 Gal	55	EACH	\$ 100.00	\$ 5,500.00
PERENNIALS AND GRASSES, 1 Gal	94	EACH	\$ 30.00	\$ 2,820.00
STANTEC EMERGENT WETLAND MIX	16	POUNDS	\$ 90.00	\$ 1,440.00
STANTEC WETLAND EDGE MIX	16	POUNDS	\$ 50.00	\$ 800.00
STANTEC SWALE MIX	10	POUNDS	\$ 50.00	\$ 500.00
STANTEC STABILIZATION MIX	32	POUNDS	\$ 50.00	\$ 1,600.00
IDOT CLASS 1 LAWN MIX	577	POUNDS	\$ 12.00	\$ 6,924.00
<b>LANDSCAPE</b>				<b>\$ 52,584.00</b>
<b>SUBTOTAL</b>				<b>\$ 52,584.00</b>
<b>TOTAL</b>				<b>\$ 52,584.00</b>
<b>NOTES:</b>				
1. Costs are provided for budgeting purposes only and do not represent actual construction bidding.				
2. Quantity takeoffs are from the Concept Plan. Plans are developed to a design development level of design and are based on survey, aerial photography and field observations.				
3. Costs are based on a General Contractor project delivery method. Unit costs shown are from past experience on similar projects. Actual costs will vary based on economic conditions.				
4. Unforeseen conditions such as utility relocations and adjustments, other than those indicated above, are not accounted for in the budget costs provided.				



## SUPPLEMENTAL REVIEW MEMORANDUM

**To:** Applicant, Charles Meyer, Come Tomorrow, LLC

**Date:** April 10, 2025

**Subject:** **245 Walnut St – Proposed Subdivision**  
Request for Annexation, Zoning Map Amendment, Preliminary Plat or Subdivision, and Site Plan Permit

**Prepared By:** Village Staff

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**This Memorandum is supplemental to the **Development Review Committee (DRC) Staff Report dated 4/10/2025**. Please refer to the DRC staff report for comments that should be addressed as soon as possible for further review, in connection with the current request for Annexation, Preliminary Plat, and Site Plan approval.**

The comments in this memorandum are being provided to summarize items that were noted by Village staff which will require attention **prior to application for Final Plat Approval** for the potential development. These comments are provided for the Applicant's reference only at this time and should be considered supplemental to any comments included within the DRC Report referenced above. Comments included within this Memorandum are considered items that would not have a direct impact on the actions requested by the Plan Commission or the Village Board, but they will need to be addressed as the project advances.

The provision of this Memorandum or any specific comment herein shall not be construed as an assumption of positive recommendations and/or approvals from Staff or any Village Boards or Commissions. Subsequent permit issuances are subject to obtaining proper Village Board approvals as may be required.

This Memorandum is not intended as a comprehensive review of the construction documents. Additional review comments should also be anticipated at time of permit submittal.

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### **ENGINEERING DIVISION**

1. **Stormwater Management** – In addition to the specific items noted within the DRC report referenced above, engineering review of the site plans has been conducted by the Village's consultant. Please be sure to address all comments in the attached review letter dated April 4, 2025, prepared by Kimley-Horn and Associates, Inc.

**Comment noted, responses to the Kimley-Horn comments are included.**

2. **Sanitary Sewer Main** – Engineering staff finds the proposed *off-site* sanitary sewer route and connection point to be generally acceptable. It is noted that this sanitary main is proposed to be installed along the side lot line between 334 and 402 E Winchester Rd. The following items

shall be addressed before Final Plat Approval:

- a. The topographic survey shall be updated to include the area of the connection point at the intersection of E Winchester Rd and Sandstone Dr. The proposed invert of the pipe connection will be required for the final engineering design of the proposed sanitary system.  
**The topographic survey is updated to include this offsite area.**
  - b. It is the applicant's responsibility to make contact with the property owners of 334 and 402 E Winchester to explain the work proposed to occur within the limits of their property. The Village should be copied on all correspondence.  
**Comment noted.**
  - c. As discussed in the DRC staff report referenced above, the alignment of the *on-site* sanitary sewer needs to be revised to remove the additional bends and manholes.  
**The sanitary sewer has been revised accordingly.**
3. **Utility Services** – Please show all utility services (water, sanitary, and storm) on the plans, stubbed to each lot.  
**The utility services have been added.**
  4. **Roadway Grading** – Staff has noted that roadway has been designed with absolute minimum curb slopes (0.6%). Staff has seen drainage issues on roadways of similar design, especially those with cul-de-sacs. Given the existing topography of the site, and to reduce the steep proposed driveway slopes, staff recommends a minimum longitudinal grade of 1.0% along curbs. Note that greater slopes would likely be accepted to help address steep driveway concerns.  
**The slopes have been adjusted where possible.**
  5. **Grading** – Adjacent to a public sidewalk, grades should remain relatively flat for at least two-feet (2') before dropping off at a 4:1 or steeper slope. Please revise the grading near the northeast sidewalk to reflect this requirement.  
**Comment noted, this is provided as requested.**
  6. **Easements** – As stated within the DRC report referenced above, easement boundaries and provisions on the subdivision plat would not be considered finalized until they are reviewed and approved in conjunction with the Final Engineering Plans. Further comments should be anticipated during future submittals. Village Engineering staff can provide preferred easement provision language upon request, please contact the Engineering Division for more information.  
**Comment noted.**
  7. **Development Agreement** – A Development Agreement will need to be prepared and finalized prior to approval of the Final Plat of Subdivision.  
**Comment noted.**
  8. **Public Improvements (Resident Engineer)** – This project will include the construction of public improvements. Therefore, the project will be subject to the requirements described in Section 9 of the Village's "Engineering Design & Construction Standards" (available on the Engineering Division webpage).  
**Comment noted.**
  9. **Declarations / Association** – It's anticipated the development agreement will need to require the establishment of declarations and a property owner's association to address long-term maintenance of the common elements, e.g. stormwater management, landscaping, etc. The draft declaration document must be submitted at time of application for final consideration.  
**Draft Declarations are included.**

10. A Watershed Development Permit application will be required along with all corresponding supporting documents (i.e. final engineering plans, stormwater calculations, cost estimates, etc.).

**A watershed development permit application is included.**

11. Permits will be required from the following outside agencies:

- a. IEPA Sanitary Construction Permit**

The Applicant would need to provide IEPA Sanitary Permit application documents for our review and execution. LCPW would also need to sign applicable areas of the IEPA Sanitary Permit application.

**The IEPA sanitary sewer permit applications are included for your review**

- b. IEPA Water Construction and Operating Permit**

The Applicant would need to provide IEPA Water Construction Permit application documents for our review and execution.

**The IEPA water supply permit applications are included for your review.**

- c. IEPA NPDES Permit (for construction disturbance greater than 1 acre)**

**A copy of the NPDES permit will be provided upon receipt**

- d. US Army Corps of Engineers and/or Lake Co Stormwater Management Commission**

If applicable, wetland impact approval or a letter of no impact may be required.

**No impacts to the existing wetlands are proposed, and construction activities will be significantly away from the wetland boundary.**

12. Please note that these comments are based on the nature of the submittal documents, and additional comments should be anticipated in response to subsequent submittals

**Comment noted.**

## **PLANNING DIVISION**

1. Pearson, Brown & Associates, Inc. Geometric Plan Sheet 4 Site Data Table indicates that the rear setback for Lots 1 and 2 is 35 feet. Lots 1 and 2 are intended to be zoned R-4 Single Family Residential District and are required to have a 40 foot rear yard setback. Please revise this discrepancy at the time of Planned Development Final Plan application submittal.

**The discrepancy has been corrected.**

2. Pearson, Brown & Associates, Inc. Geometric Plan Sheet 4 Site Data Table indicates that the rear setback for Lots 3, 4, 5, and 6 is 40 feet. Lots 3, 4, 5, and 6 are intended to be zoned R-6 Single Family Residential District and are required to have a 35 foot rear yard setback. Please revise this discrepancy at the time of Planned Development Final Plan application submittal.

**The discrepancy has been corrected.**

3. At the time of final application submittal, language shall be incorporated into the final plat which clarifies that where any noted setbacks on the plat exceed zoning code standards, that the greater setbacks reflected on the plat shall be followed.

**The requested language has been added as requested.**

**WATERSHED DEVELOPMENT PERMIT (WDP) APPLICATION**

Revised 08/2021

<b>Office Use</b>	1. COMMUNITY AND STATUS <input type="checkbox"/> Standard <input type="checkbox"/> Conditional <input type="checkbox"/> Certified <input type="checkbox"/> Non-Certified	<input type="checkbox"/> Isolated Wetlands <input type="checkbox"/> Conditional <input type="checkbox"/> Certified <input type="checkbox"/> Non-Certified	2. FEE-IN LIEU - FIL50 <input type="checkbox"/> Certified <input type="checkbox"/> Non-Certified <input type="checkbox"/> Not Applicable	3. WDP APP. # _____	4. COMMUNITY APP. NO. (to be assigned by Community) _____
	5. NAME & ADDRESS OF PROPERTY OWNER Charlie Meyer 1700 Franklin Blvd Libertyville, IL 60048  Daytime Phone: (847) 513-1584 Fax: _____ Email: cmeyer@wmwmeyer.com		6. NAME & ADDRESS OF ENGINEER/AGENT Pearson, Brown & Assoc, Inc. 1850 W. Winchester Rd Suite 205 Libertyville, IL 60048  Daytime Phone: (847) 367-6707 Fax: _____ Email: angelo@pearsonbrown.com		7. NAME & ADDRESS OF CERT. WETLAND SPECIALIST DK ENVIRONMENTAL SERVICES 110 Woodland Road Libertyville, IL 60048  Daytime Phone: 847.778.0993 Fax: _____ Email: DKenvserv@sbcglobal.net

<b>8A. CHECK THE ONE CONDITION THAT APPLIES*:</b> <input type="checkbox"/> Exempt, Watershed Development Permit Not Required [§302] <input type="checkbox"/> Minor Development [§303.01] <input type="checkbox"/> Major Development Outside the Floodplain [§303.01] <input checked="" type="checkbox"/> Major Development Inside the Floodplain [§303.01, 700.01, 700.02] <input type="checkbox"/> Public Road Development [§303.02] <input type="checkbox"/> Public Development in the Floodplain [Appendix E.J.3.f] <input type="checkbox"/> Existing Conditions BFE Only [§700.02.D] <input type="checkbox"/> Soil Erosion and Sediment Control Review Only [§300.08] <input type="checkbox"/> Hydrologically Disturbs 5,000 sq. ft. or More [§300.08]  *refer to Appendix A for Definitions	<b>8B. CHECK ALL CONDITIONS THAT APPLY:</b> <input type="checkbox"/> Isolated Wetland/Waters Impact [§1005] <input type="checkbox"/> Request Letter of No Impact (LONI) for wetlands or waters [§1003] <input type="checkbox"/> Development in a Floodway [§700.03] <input type="checkbox"/> Floodplain Map Revision or Amendment [§702.04, 703.04] <input type="checkbox"/> Watercourse w/ Drainage Area >20 Ac and <100 Ac [§700.02, 800] <input type="checkbox"/> Watercourse w/ Drainage Area >100 Ac and <640 Ac [§700.02, 801] <input type="checkbox"/> Earth Change Approval (ECA) [§305] <input type="checkbox"/> Variance Request [§1300] <input type="checkbox"/> BFE or Floodway Determination [§700.02, 700.03] <input type="checkbox"/> Designated Erosion Control Inspector (DECI) [§601] <input type="checkbox"/> Pre-application Meeting Held _____
---	--

<b>9A. STORMWATER DATA SUMMARY</b> <table border="1" style="width:100%; border-collapse: collapse;"> <thead> <tr> <th></th> <th></th> <th>Unit</th> </tr> </thead> <tbody> <tr><td>Total Property Ownership</td><td>= 16.62</td><td>Acres</td></tr> <tr><td>Hydrologic Disturbance</td><td>= 4.5</td><td>Acres</td></tr> <tr><td>Watershed Area Tributary to Development</td><td>= 4.72</td><td>Acres</td></tr> <tr><td>Proposed Impervious Area</td><td>= 1.84</td><td>Acres</td></tr> <tr><td>Existing Impervious Area Pre-1992</td><td>= 0.23</td><td>Acres</td></tr> <tr><td>Existing Impervious Area Post-1992</td><td>= 0.23</td><td>Acres</td></tr> <tr><td>Detention Volume Required</td><td>= N/A</td><td>Acre-ft.</td></tr> <tr><td>Compensatory Storage Required</td><td>= .0269</td><td>Acre-ft.</td></tr> <tr><td>    Depressional</td><td>= 0.00</td><td>Acre-ft.</td></tr> <tr><td>    Riverine 0- to 10-Year</td><td>= .0018</td><td>Acre-ft.</td></tr> <tr><td>    Riverine 10- to 100-Year</td><td>= .0251</td><td>Acre-ft.</td></tr> </tbody> </table>			Unit	Total Property Ownership	= 16.62	Acres	Hydrologic Disturbance	= 4.5	Acres	Watershed Area Tributary to Development	= 4.72	Acres	Proposed Impervious Area	= 1.84	Acres	Existing Impervious Area Pre-1992	= 0.23	Acres	Existing Impervious Area Post-1992	= 0.23	Acres	Detention Volume Required	= N/A	Acre-ft.	Compensatory Storage Required	= .0269	Acre-ft.	Depressional	= 0.00	Acre-ft.	Riverine 0- to 10-Year	= .0018	Acre-ft.	Riverine 10- to 100-Year	= .0251	Acre-ft.	<b>9B. WETLAND/WATERS DATA SUMMARY</b> <table border="1" style="width:100%; border-collapse: collapse;"> <tbody> <tr><td>Existing Wetland/Waters Acreage</td><td></td><td>= 11.6</td></tr> <tr><td>    Waters of the U.S.</td><td>= 11.6</td><td></td></tr> <tr><td>    Isolated Waters of Lake County</td><td>= 0.00</td><td></td></tr> <tr><td>Impacted Wetland/Waters Acreage</td><td></td><td>= 0.00</td></tr> <tr><td>    Waters of the U.S.</td><td>= 0.00</td><td></td></tr> <tr><td>    Isolated Waters of Lake County</td><td>= 0.00</td><td></td></tr> <tr><td>Mitigation Replacement Ratio</td><td></td><td>= 0.00</td></tr> <tr><td>Mitigation Acreage Required</td><td></td><td>= 0.00</td></tr> <tr><td>    Waters of the U.S.</td><td>= 0.00</td><td></td></tr> <tr><td>    Isolated Waters of Lake County</td><td>= 0.00</td><td></td></tr> <tr><td>    On-Site</td><td></td><td>= 0.00</td></tr> <tr><td>    Off-Site</td><td></td><td>= 0.00</td></tr> <tr><td>    Mitigation Bank</td><td></td><td>= 0.00</td></tr> <tr><td>    SMC Wetland Restoration Fund</td><td></td><td>= 0.00</td></tr> </tbody> </table>	Existing Wetland/Waters Acreage		= 11.6	Waters of the U.S.	= 11.6		Isolated Waters of Lake County	= 0.00		Impacted Wetland/Waters Acreage		= 0.00	Waters of the U.S.	= 0.00		Isolated Waters of Lake County	= 0.00		Mitigation Replacement Ratio		= 0.00	Mitigation Acreage Required		= 0.00	Waters of the U.S.	= 0.00		Isolated Waters of Lake County	= 0.00		On-Site		= 0.00	Off-Site		= 0.00	Mitigation Bank		= 0.00	SMC Wetland Restoration Fund		= 0.00
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9C. Check box if State (IL) funds are being used for this development.       9D. Check box if this is a project being funded in part/in whole by an SMC grant?

<b>10A. DESCRIPTION OF DEVELOPMENT</b>	
Construction of a 6-lot single-family residential subdivision	
<b>10B. NAME OF DEVELOPMENT</b>	<b>10C. SINGLE FAMILY HOME ONLY</b>
Meyer Subdivision	Estimated future home value: N/A
<b>10D. LOCATION OF DEVELOPMENT</b>	<b>11. LEGAL DESCRIPTION</b>
245 Walnut Street	NE 16 44N 11E
Street Address 245 Walnut Street	¼ Section Section Township Range
Municipality Libertyville	PIN 11-16-201-012 11-16-201-012
DesPlaines River Upper DesPlaines River	42d 17' 54"N 87d 57' 3"W
Watershed Sub-Watershed	Latitude Longitude
Map Link: <a href="https://www.lakecountyil.gov/DocumentCenter/View/3586/Lake-County-Watershed-Map-PDF?bidId=">https://www.lakecountyil.gov/DocumentCenter/View/3586/Lake-County-Watershed-Map-PDF?bidId=</a>	(If more than three PIN exists for the project, please include on a separate attachment)

12. LIST ALL LOCAL, STATE, AND FEDERAL PERMIT APPLICATION, OR APPROVAL LETTERS REQUIRED FOR DEVELOPMENT				
Permit Type	Issuing Agency	Permit Number	Application Filing Date	Permit Issue Date
Sanitary Sewer	IEPA			
Water Supply	IEPA			
NPDES	IEPA			

13A. UNDER PENALTY OF INTENTIONAL MISREPRESENTATION AND/OR PERJURY, I declare that I have examined and/or made this application and it is true and correct to the best of my knowledge and belief. I agree to construct said development in compliance with the permitted documents. I realize that the information that I have affirmed hereon forms a basis for the issuance of the Watershed Development Permit(s) herein applied for and approval of plans in connection therewith shall not be construed to permit any construction upon said premises or use thereof in violation of any provision of any applicable ordinance or to excuse the owner or his successors in title from complying therewith.

Signature of Property Owner, or Authorized Agent: Charlie Meyer Date: 6/5/25

13B. I CERTIFY that the plans/documents submitted for the above-referenced development have been prepared under the supervision of a professional engineer or certified wetland specialist as appropriate.

Signature of Professional Engineer: Angelo Zognifos P.E.# 062.062725 Date: 6/5/25

Signature of Certified Wetland Specialist: Daniel J. Krill CWS# 002 Date: 6.4.2025

Print Name of Professional Engineer: Angelo Zognifos      Print Name of Certified Wetland Specialist: Daniel J. Krill

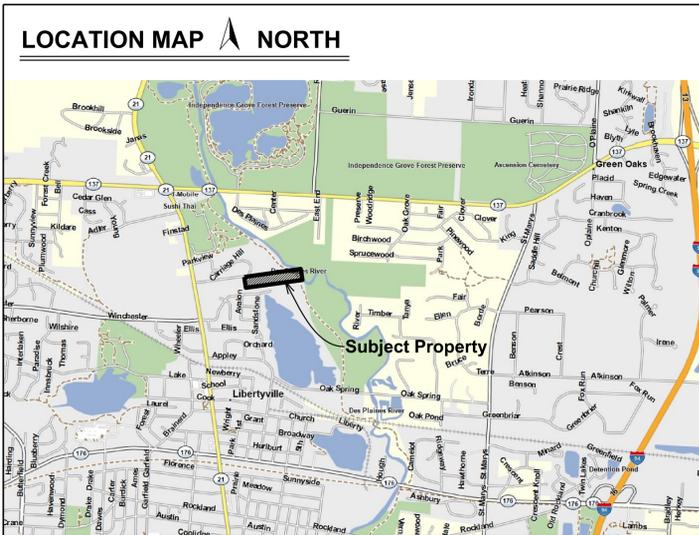
This permit is subject to the following conditions:

- (a) This permit does not convey title to the permittee or recognize title of the permittee to any submerged or other lands, and furthermore, does not convey, lease or provide any right or rights of occupancy or use of the public or private property on which the project or any part thereof will be located, or otherwise grant to the permittee any right or interest in or to the property, whether the property is owned or possessed by the County of Lake or by any private or public party or parties.
- (b) This permit does not release the permittee from liability for damage to persons or property resulting from the work covered by this permit, and does not authorize any injury to private property or invasion of private rights.
- (c) This permit does not relieve the permittee of the responsibility to obtain other federal, state or local authorizations required for the construction of the permitted activity; and if the permittee is required by law to obtain approval from any federal or state agency to do the work, this permit is not effective until those approvals are obtained.
- (d) The permittee shall, at his own expense, remove all temporary piling, cofferdams, false work, and material incidental to the construction of the project, from the flood-prone area, river, stream or lake in which the work is done.
- (e) The execution and details of the work authorized shall be subject to the approval of the SMC or certified community (as applicable). SMC and community representatives shall have right to access to accomplish this purpose.
- (f) Application for permit will be considered full acceptance by the permittee of the terms and conditions of the permit.
- (g) The SMC or certified community (as applicable) in issuing this permit has relied, upon the statements and representations made by the permittee; if any statement or representation made by the permittee is found to be false, the permit may be revoked at the option of the SMC or certified community (as applicable); and when a permit is revoked all rights of the permittee under the permit are voided.
- (h) If the project authorized by this permit is in or along Lake Michigan or a meandered lake, the permittee and successors shall make no claim whatsoever to any interest in any accretions caused by the project.
- (i) In issuing this permit, the SMC does not approve the adequacy of the design or structural strength or the structure or improvement.
- (j) Noncompliance with the conditions of this permit will be considered grounds for revocation.
- (k) If the work permitted is not completed within three (3) years of the permit issuance date, this permit shall be void, unless an extension has been requested and granted by the SMC or certified community (as applicable) prior to the expiration date.

Upon permit issuance refer to the permit letter for further project-specific conditions.

# FINAL ENGINEERING FOR MEYER SUBDIVISION

## 245 WALNUT STREET, LIBERTYVILLE, ILLINOIS 60048



### INDEX

1. COVER SHEET
2. SPECIFICATIONS & NOTES
3. EXISTING CONDITIONS
4. DEMOLITION PLAN
5. GEOMETRIC PLAN
6. GRADING PLAN
7. ENTRANCE & ADA GRADING PLAN
8. EROSION CONTROL PLAN
9. EROSION CONTROL NOTES & DETAILS
10. UTILITY PLAN
11. PLAN & PROFILE
12. DETAILS
13. DETAILS
14. DETAILS
15. DETAILS

### LEGEND

EXISTING	PROPOSED	EXISTING	PROPOSED	
				CENTER LINE
				EASEMENT
				BUILDING SETBACK
				CURB & GUTTER
				DEPRESSED CURB & GUTTER
				GUARD RAIL
				FENCE
				RETAINING WALL
				CURB RAMP
				DRIVEWAY HAND
				SIGN
				MAIL BOX
				SOIL BORING
				DECIDUOUS TREE, DIAMETER
				EVERGREEN TREE, HEIGHT
				FINISHED FLOOR
				TOP OF FOUNDATION
				FINISHED GRADE
				SPOT ELEVATION
				TOP OF CURB ELEVATION
				FLOW LINE OF GUTTER
				CONTOUR
				DITCH
				DRAINAGE FLOW
				OVERLAND FLOW
				RIM ELEVATION
				INVERT ELEVATION

**BENCHMARKS:**  
 SOURCE BENCHMARK  
 BENCHMARK RECOVERY SHEET  
 LAKE COUNTY, ILLINOIS  
 BENCHMARK DESIGNATION: 6-35A  
 CHISELED "X" ON W. RIM OF MANHOLE.  
 NAVD88 ELEVATION = 704.64  
 SITE BENCHMARK:  
 SURVEYING CONTROL POINT, CUT CROSS ON NORTH CONCRETE CURB  
 ACROSS EXISTING DRIVEWAY ACCESS INTO SUBJECT PROPERTY.  
 NAVD88 ELEVATION = 669.58

**PROPERTY INDEX NUMBER:**  
 11-16-201-012  
 11-09-407-011

**DRAINAGE CERTIFICATE**  
 TO THE BEST OF OUR KNOWLEDGE AND BELIEF THE DRAINAGE OF SURFACE WATERS WILL NOT BE CHANGED BY THE CONSTRUCTION OF THIS DEVELOPMENT OR ANY PART THEREOF. OR, THAT IF SUCH SURFACE WATER DRAINAGE WILL BE CHANGED, REASONABLE PROVISION HAS BEEN MADE FOR COLLECTION AND DIVERSION OF SUCH SURFACE WATERS INTO PUBLIC AREAS, OR DRAINS WHICH THE DEVELOPER HAS A RIGHT TO USE, AND THAT SUCH SURFACE WATERS WILL BE PLANNED FOR IN ACCORDANCE WITH GENERALLY ACCEPTED ENGINEERING PRACTICES SO AS TO REDUCE THE LIKELIHOOD OF DAMAGE TO THE ADJOINING PROPERTY BECAUSE OF THE CONSTRUCTION OF THIS DEVELOPMENT.

PREPARED FOR:  
**CHARLES MEYER**  
 1700 FRANKLIN BOULEVARD, LIBERTYVILLE, ILLINOIS, 60048, (847) 513-1584

CONSULTING ENGINEERS:  
**PEARSON, BROWN & ASSOCIATES, INC.**  
 A PROFESSIONAL DESIGN FIRM - ILLINOIS PROFESSIONAL ENGINEERING CORPORATION - LICENSE NUMBER 184-001058 EXPIRES 04/30/27  
 1850 W. WINCHESTER ROAD - SUITE 205 LIBERTYVILLE, IL. 60048 (847) 367-6707

CONTACT JULIE AT 8-1-1 OR 800-892-0123  
 With the following:  
 County \_\_\_\_\_ Lake \_\_\_\_\_  
 City/Township \_\_\_\_\_ Libertyville / T44N-R11E \_\_\_\_\_  
 Sec 1/4 Sec No. \_\_\_\_\_ Sec 16. NE 1/4 \_\_\_\_\_  
 Call 2 working days BEFORE YOU DIG.

PERMIT	NUMBER	DATE ISSUED
IEPA - NPDES		
IEPA - SANITARY		
IEPA - WATER		
VILLAGE		

REVISIONS
1
2
3
4
5
6
7
8
9
10
11
12

ENGINEER'S SEAL & SIGNATURE

ORIGINAL ISSUE DATE:  
 06/05/25  
 SHEET NUMBER  
**1**  
 OF 15 SHEETS

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MEYER SUBDIVISION, 245 WALNUT STREET, LIBERTYVILLE

**NOT FOR CONSTRUCTION**



















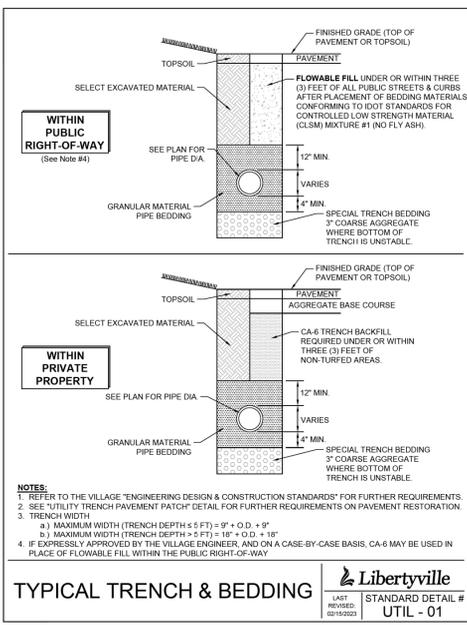


ITEM	FRAME & GRATE / LID (OR APPROVED EQUAL)	I.D.O.T. TYPE	DESCRIPTION	OPTIONS	APPLICABLE TO CURRENT PROJECT? "X"
<b>WATER MAIN</b>					
VALVE VAULT (MAINTAINED BY VILLAGES) FRAME & CLOSED LID	NEENAH R-1713	1	FLAT, ROUND, CLOSED LID	"VILLAGES OF LIBERTYVILLE" AND "STORM" IMPRINTED ON COVER. LID SHALL HAVE CONCEALED PICKHOLE.	<b>X</b>
VALVE VAULT (PRIVATELY MAINTAINED) FRAME & CLOSED LID	NEENAH R-1713	1	FLAT, ROUND, CLOSED LID	ONLY "WATER" IMPRINTED ON COVER. LID SHALL HAVE CONCEALED PICKHOLE.	
<b>SANITARY SEWER</b>					
SANITARY MANHOLE (MAINTAINED BY VILLAGES) FRAME & CLOSED LID	NEENAH R-1713	1	FLAT, ROUND, CLOSED LID	"VILLAGES OF LIBERTYVILLE" AND "SANITARY" IMPRINTED ON COVER. LID SHALL HAVE CONCEALED PICKHOLE.	<b>X</b>
SANITARY MANHOLE (PRIVATELY MAINTAINED) FRAME & CLOSED LID	NEENAH R-1713	1	FLAT, ROUND, CLOSED LID	ONLY "SANITARY" IMPRINTED ON COVER. LID SHALL HAVE CONCEALED PICKHOLE.	
<b>STORM SEWER</b>					
STORM MANHOLE (MAINTAINED BY VILLAGES) FRAME & CLOSED LID	NEENAH R-1713	1	FLAT, ROUND, CLOSED LID	"VILLAGES OF LIBERTYVILLE" AND "STORM" IMPRINTED ON COVER. LID SHALL HAVE CONCEALED PICKHOLE.	<b>X</b>
STORM MANHOLE (PRIVATELY MAINTAINED) FRAME & CLOSED LID	NEENAH R-1713	1	FLAT, ROUND, CLOSED LID	ONLY "STORM" IMPRINTED ON COVER. LID SHALL HAVE CONCEALED PICKHOLE.	
FLAT, ROUND, OPEN GRATE	NEENAH R-1713	1	FLAT, ROUND, OPEN TYPE D GRATE		
CURB DRAINAGE STRUCTURE (FOR BARRIER CURB)	NEENAH R-327A (OR ROADWAY 8455)	3	INLET FRAME & CURB BOX FOR BARRIER CURB, RECTANGULAR	STANDARD GRATE	<b>X</b>
CURB DRAINAGE STRUCTURE (FOR ROLL-TYPE CURB)	NEENAH R-327A (OR ROADWAY 8455)	3V	INLET FRAME & CURB BOX FOR BARRIER CURB, RECTANGULAR	TYPE L VANE GRATE	
CURB DRAINAGE STRUCTURE (FOR ROLL-TYPE CURB)	NEENAH R-350-P	N/A	INLET FRAME ROLL-TYPE CURB, RECTANGULAR		
BEEHIVE GRATE	NEENAH R-430-B	8	BEEHIVE TYPE INLET, ROUND, OPEN GRATE	FOR LAWN AREAS ONLY	<b>X</b>

\* NOTE: DRAINAGE STRUCTURES SHALL HAVE "NO DUMPING - DRAINS TO RIVER" IMPRINTED ON FRAME/GRATE

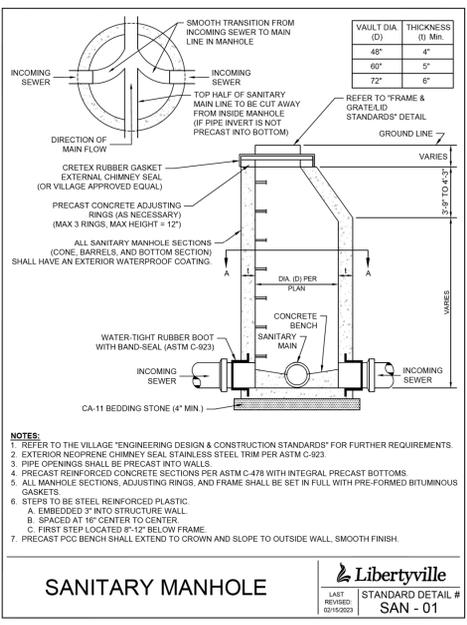
**FRAME & GRATE / LID STANDARDS**

**Libertyville**  
STANDARD DETAIL #  
**UTIL - 02**



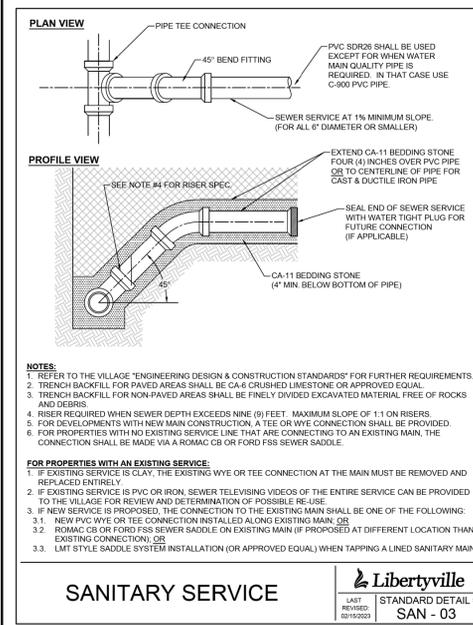
**TYPICAL TRENCH & BEDDING**

**Libertyville**  
STANDARD DETAIL #  
**UTIL - 01**



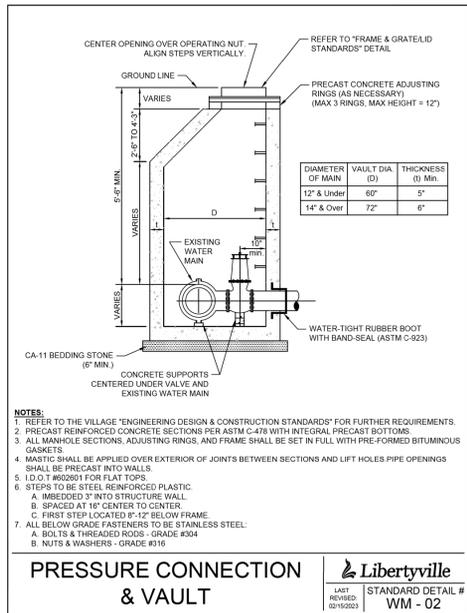
**SANITARY MANHOLE**

**Libertyville**  
STANDARD DETAIL #  
**SAN - 01**



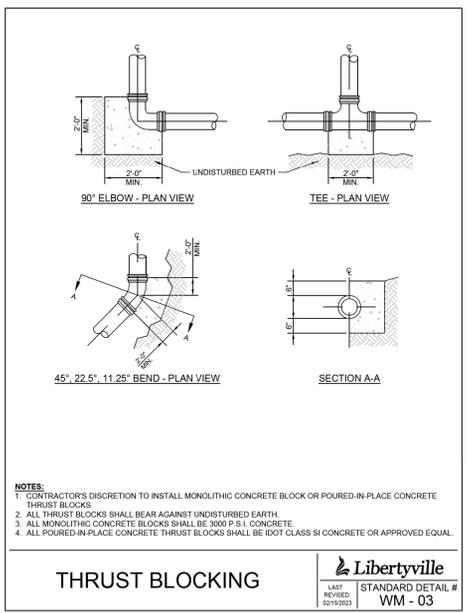
**SANITARY SERVICE**

**Libertyville**  
STANDARD DETAIL #  
**SAN - 03**



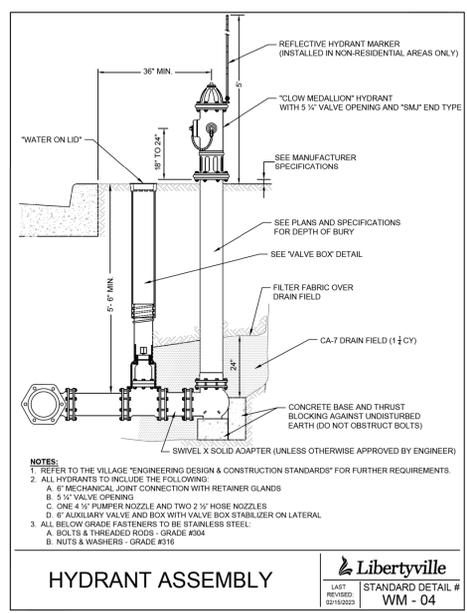
**PRESSURE CONNECTION & VAULT**

**Libertyville**  
STANDARD DETAIL #  
**WM - 02**



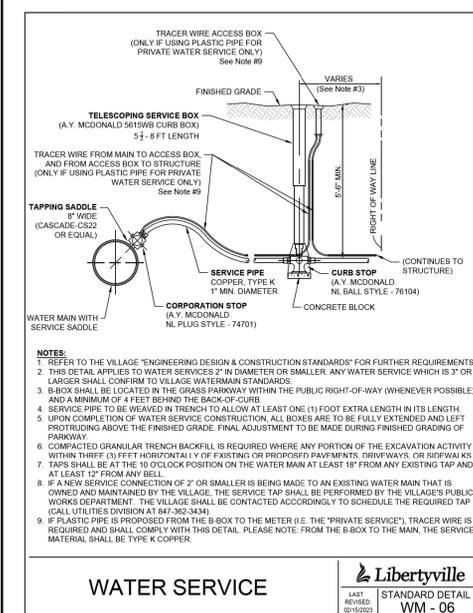
**THRUST BLOCKING**

**Libertyville**  
STANDARD DETAIL #  
**WM - 03**



**HYDRANT ASSEMBLY**

**Libertyville**  
STANDARD DETAIL #  
**WM - 04**



**WATER SERVICE**

**Libertyville**  
STANDARD DETAIL #  
**WM - 06**

ILLINOIS DEPARTMENT OF TRANSPORTATION (I.D.O.T.) STANDARDS TO BE UTILIZED FOR ALL STORM MANHOLES.

PLEASE "X" ANY STANDARDS LISTED BELOW THAT ARE APPLICABLE TO THIS PROJECT, AND INCLUDE THE CORRESPONDING I.D.O.T. STANDARD DETAIL ON THE PLANS.

STANDARD	DESCRIPTION	APPLICABLE TO CURRENT PROJECT? "X"
602401	MANHOLE TYPE A, 4' DIAMETER	<b>X</b>
602402	MANHOLE TYPE A, 5' DIAMETER	
602406	MANHOLE TYPE A, 6' DIAMETER	
602411	MANHOLE TYPE A, 7' DIAMETER	
602416	MANHOLE TYPE A, 8' DIAMETER	
602421	MANHOLE TYPE A, 9' DIAMETER	
602426	MANHOLE TYPE A, 10' DIAMETER	
602601	PRECAST REINFORCED CONCRETE FLAT SLAB TOP	

NOTES:  
1. REFER TO THE VILLAGES "ENGINEERING DESIGN & CONSTRUCTION STANDARDS" FOR FURTHER REQUIREMENTS.  
2. USE LATEST REVISION OF STANDARDS.

**STORM MANHOLE STANDARDS**

**Libertyville**  
STANDARD DETAIL #  
**STM - 01**

ILLINOIS DEPARTMENT OF TRANSPORTATION (I.D.O.T.) STANDARDS TO BE UTILIZED FOR ALL STORM CATCH BASINS.

PLEASE "X" ANY STANDARDS LISTED BELOW THAT ARE APPLICABLE TO THIS PROJECT, AND INCLUDE THE CORRESPONDING I.D.O.T. STANDARD DETAIL ON THE PLANS.

STANDARD	DESCRIPTION	APPLICABLE TO CURRENT PROJECT? "X"
602001	CATCH BASIN, TYPE A	<b>X</b>
602011	CATCH BASIN, TYPE C	
602601	PRECAST REINFORCED CONCRETE FLAT SLAB TOP	

NOTES:  
1. REFER TO THE VILLAGES "ENGINEERING DESIGN & CONSTRUCTION STANDARDS" FOR FURTHER REQUIREMENTS.  
2. USE LATEST REVISION OF STANDARDS.

**CATCH BASIN STANDARDS**

**Libertyville**  
STANDARD DETAIL #  
**STM - 02**

ILLINOIS DEPARTMENT OF TRANSPORTATION (I.D.O.T.) STANDARDS TO BE UTILIZED FOR ALL STORM INLETS.

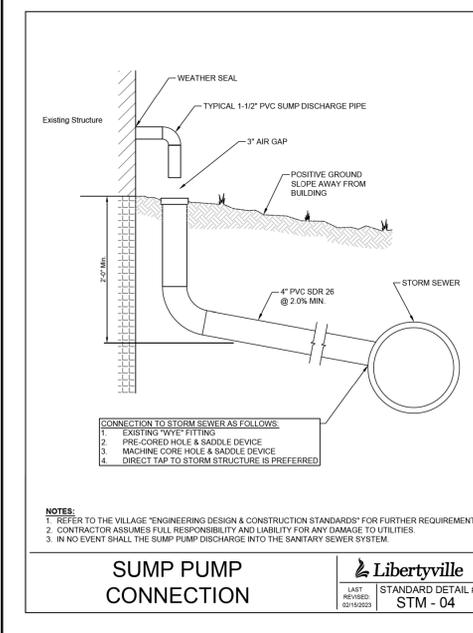
PLEASE "X" ANY STANDARDS LISTED BELOW THAT ARE APPLICABLE TO THIS PROJECT, AND INCLUDE THE CORRESPONDING I.D.O.T. STANDARD DETAIL ON THE PLANS.

STANDARD	DESCRIPTION	APPLICABLE TO CURRENT PROJECT? "X"
602001	INLET, TYPE A	<b>X</b>
602601	PRECAST REINFORCED CONCRETE FLAT SLAB TOP	

NOTES:  
1. REFER TO THE VILLAGES "ENGINEERING DESIGN & CONSTRUCTION STANDARDS" FOR FURTHER REQUIREMENTS.  
2. USE LATEST REVISION OF STANDARDS.

**STORM INLET STANDARDS**

**Libertyville**  
STANDARD DETAIL #  
**STM - 03**



**SUMP PUMP CONNECTION**

**Libertyville**  
STANDARD DETAIL #  
**STM - 04**

**MEYER SUBDIVISION**

245 WALNUT STREET, LIBERTYVILLE, ILLINOIS  
**PEARSON, BROWN & ASSOCIATES, INC.**  
CONSULTING ENGINEERS  
1850 W. WINCHESTER ROAD - SUITE 205  
LIBERTYVILLE, IL 60089  
PHONE: (847) 387-2527  
FAX: (847) 387-2527  
E-MAIL ADDRESS: pba@pearsonbrown.com  
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**DESIGNED BY: G.A.Z.**  
**DRAWN BY: A.Z.**  
**CHECKED BY: A.K.Z.**  
**ORIGINAL ISSUE: 06/09/25**

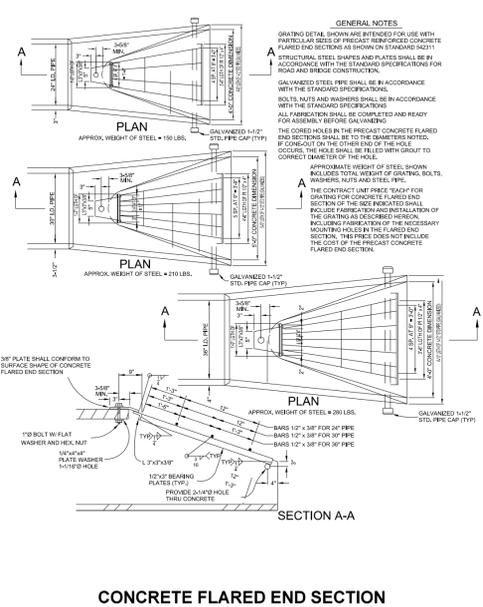
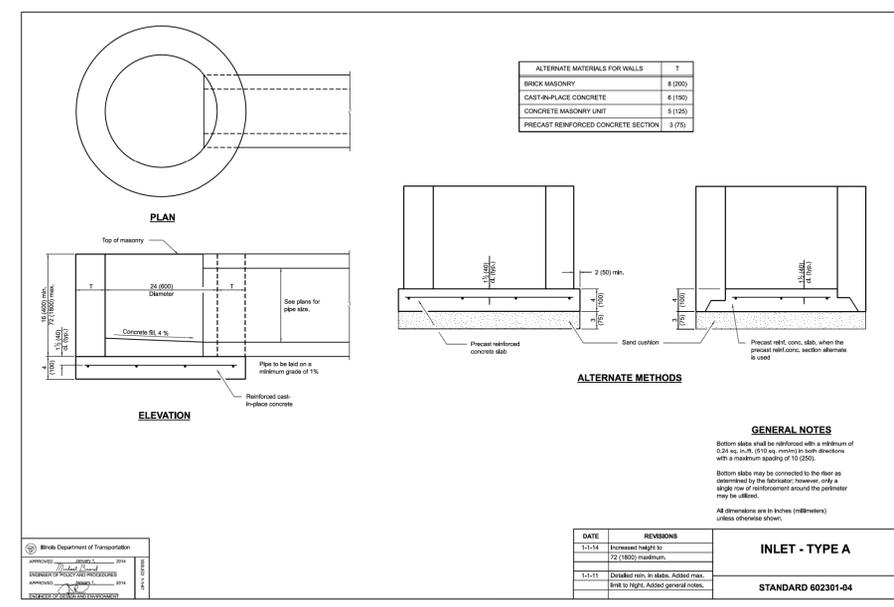
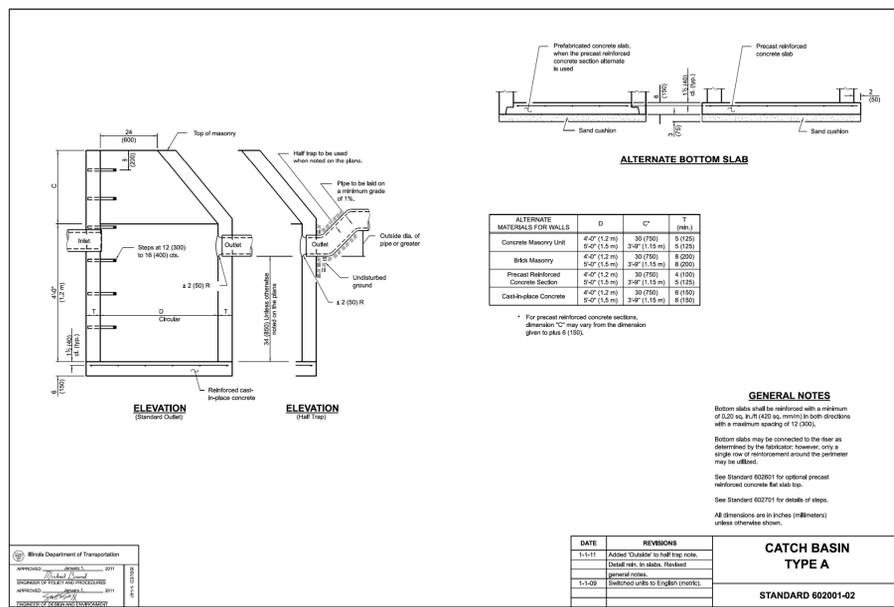
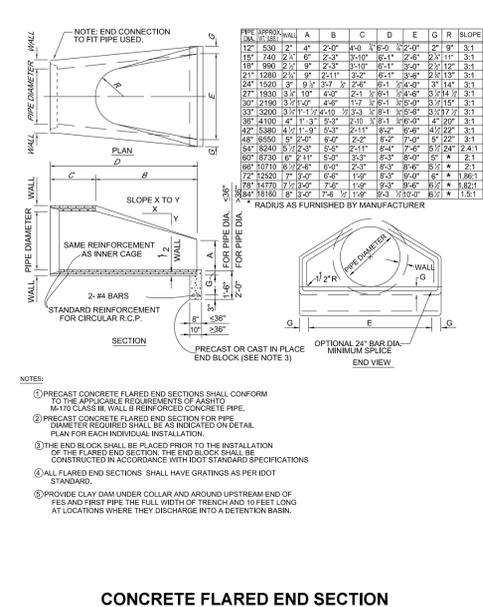
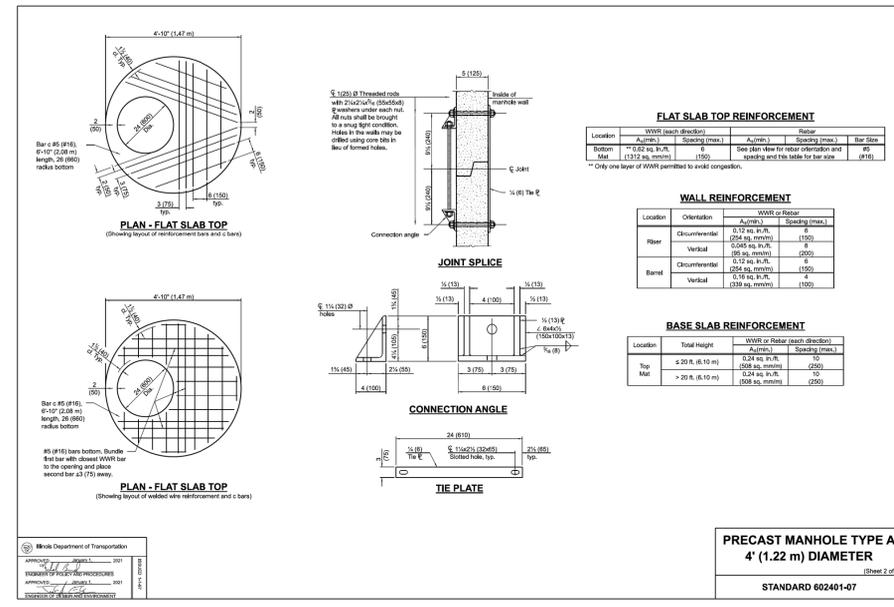
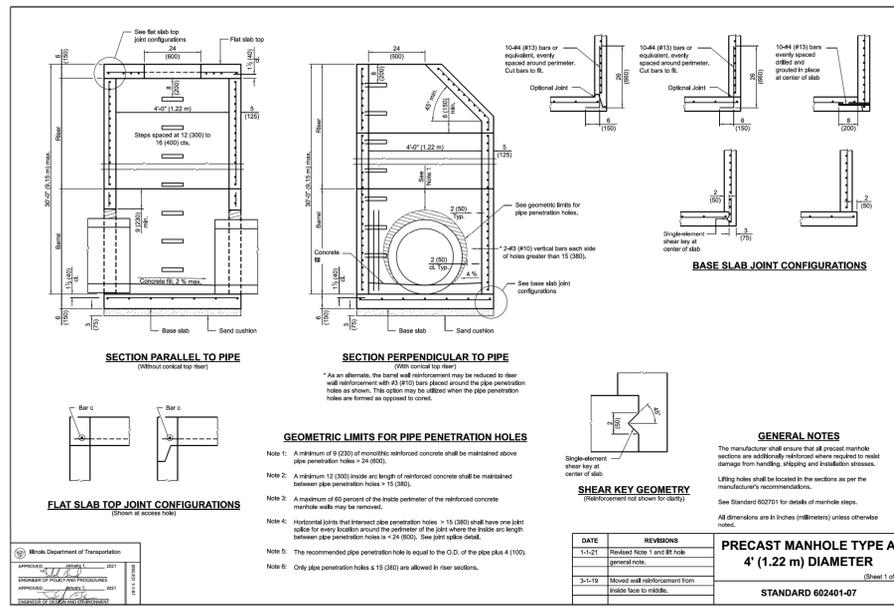
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**DATE BY**

**REVISIONS**

**DETAILS**

SHEET NUMBER  
**12**  
OF 15 SHEETS  
JOB No. 2596



**STANDARD SPECIFICATIONS FOR WATER AND SEWER MAIN CONSTRUCTION IN ILLINOIS, LATEST EDITION.**

**41-2.01 PROTECTION OF WATER MAIN AND WATER SERVICE LINES**

**41-2.01A GENERAL**

Water mains and water service lines shall be protected from sanitary sewers, storm sewers, combined sewers, house sewer service connections and drains as follows:

**41-2.01B HORIZONTAL SEPARATION - WATER MAINS AND SEWERS**

(1) Water mains shall be located at least ten (10) feet (3.1 m) horizontally from any existing or proposed drain, storm sewer, sanitary sewer, combined sewer or sewer service connection.

(2) Water mains may be located closer than ten (10) feet (3.1 m) to a sewer line when:

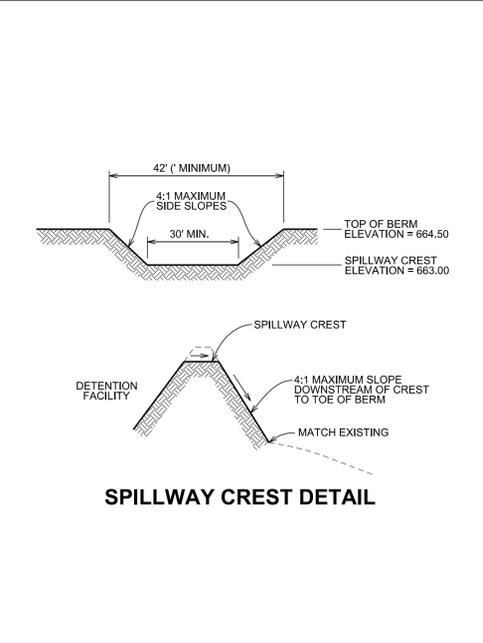
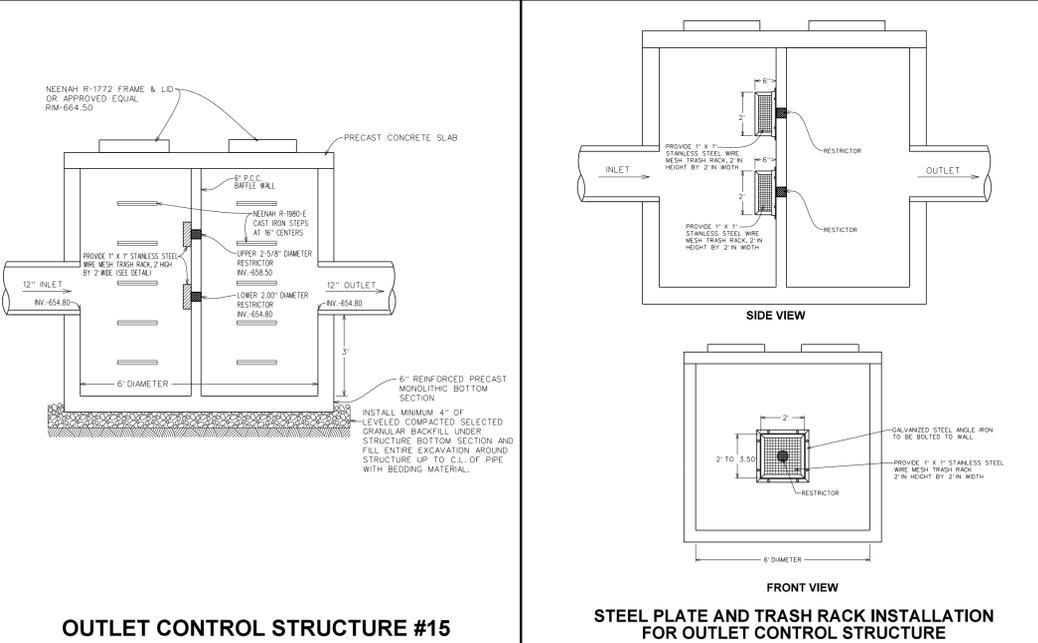
(a) local conditions prevent a lateral separation of ten (10) feet (3.1 m); and

(b) the water main invert is at least eighteen (18) inches (460 mm) above the crown of the sewer; and

(c) the water main is either in a separate trench or in the same trench on an undisturbed earth shelf located to one side of the sewer.

(3) When it is impossible to meet (1) or (2) above, both the water main and drain or sewer shall be constructed of slip-on or mechanical joint cast or ductile iron pipe, prestressed concrete pipe or PVC pipe equivalent to water main standards of construction. The drain or sewer shall be pressure tested to the maximum expected surcharge head before backfilling. See Standard Drawing No. 18.

**WATER AND SEWER SEPARATION REQUIREMENTS (HORIZONTAL SEPARATION)**



**MEYER SUBDIVISION**  
245 WALNUT STREET, LIBERTYVILLE, ILLINOIS

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LIBERTYVILLE, IL 60088  
PHONE: (618) 867-2457  
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ORIGINAL ISSUE: 06/06/25

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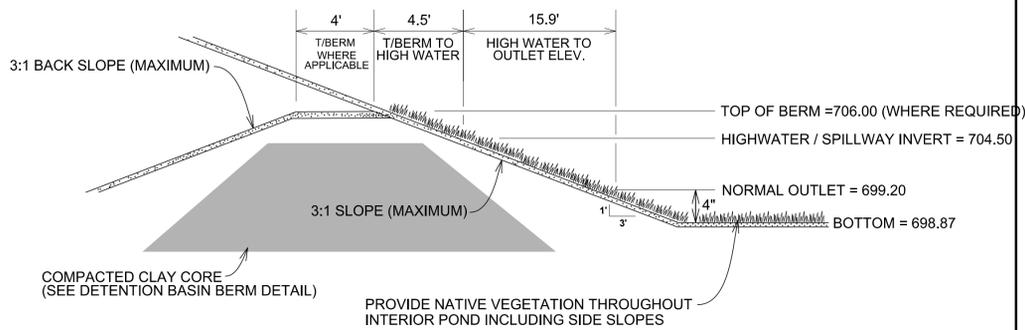
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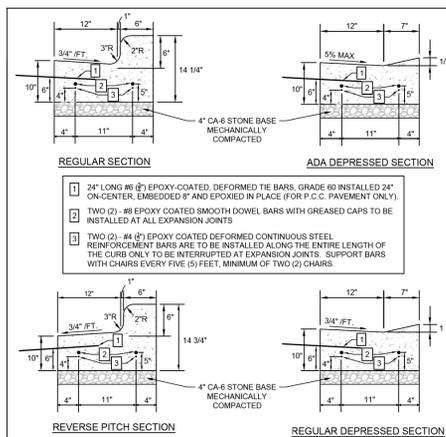
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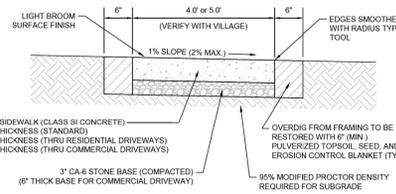
**JOB NO.** 2596



**STORMWATER BASIN DETAIL - NATURALIZED**



**B6.12 CURB & GUTTER**



**P.C.C. SIDEWALK**

ILLINOIS DEPARTMENT OF TRANSPORTATION (I.D.O.T.) STANDARDS TO BE UTILIZED FOR ALL CURB RAMPS.

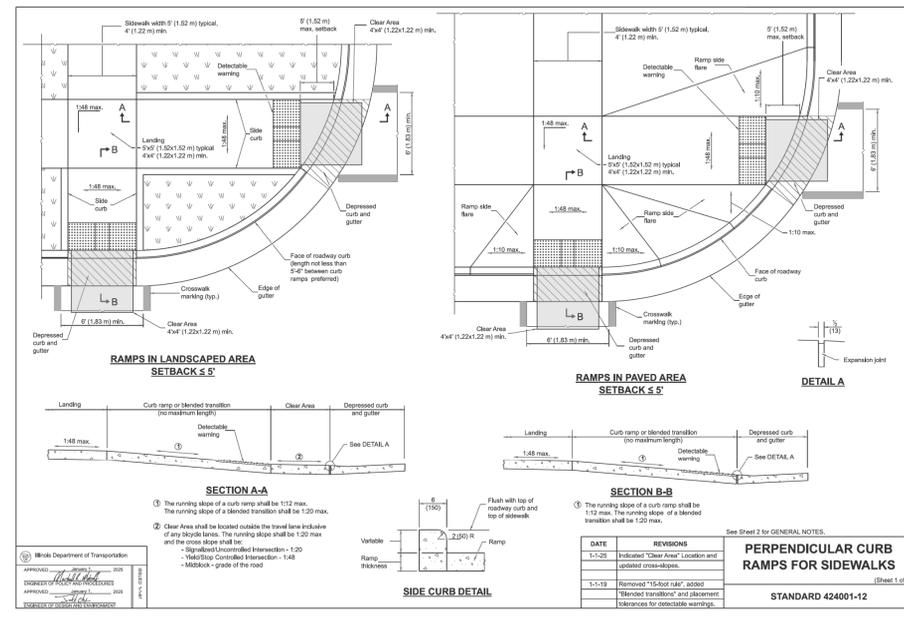
PLEASE "X" ANY STANDARDS LISTED BELOW THAT ARE APPLICABLE TO THIS PROJECT, AND INCLUDE THE CORRESPONDING I.D.O.T. STANDARD DETAIL ON THE PLANS.

STANDARD	DESCRIPTION	APPLICABLE TO CURRENT PROJECT?
424001	PERPENDICULAR RAMPS FOR SIDEWALKS	X
424006	DIAGONAL CURB RAMPS FOR SIDEWALKS	
424011	CORNER PARALLEL CURB RAMPS FOR SIDEWALKS	
424016	MID-BLOCK CURB RAMPS FOR SIDEWALKS	
424021	DEPRESSED CORNER FOR SIDEWALKS	
424026	ENTRANCE / ALLEY PEDESTRIAN CROSSINGS	
424031	MEDIAN PEDESTRIAN CROSSINGS	

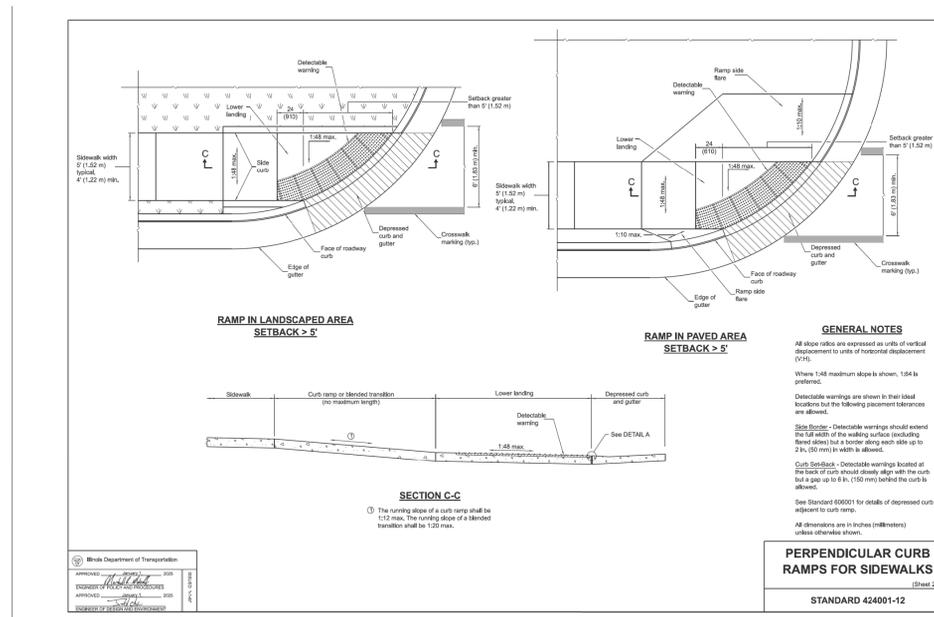
- NOTES:**
- REFER TO THE VILLAGE "ENGINEERING DESIGN & CONSTRUCTION STANDARDS" FOR FURTHER REQUIREMENTS.
  - ALL DETECTABLE WARNINGS ON PUBLIC SIDEWALK SHALL BE ARMOR TILE "CAST IN PLACE" POLYMER COMPOSITE, "BRICK RED" COLOR, OR APPROVED EQUAL.
  - USE LATEST REVISION OF STANDARDS.

**SIDEWALK CURB RAMP STANDARDS**

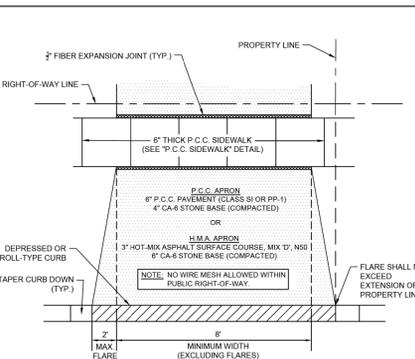
**Libertyville**  
STANDARD DETAIL # PAV - 06



**PERPENDICULAR CURB RAMPS FOR SIDEWALKS**



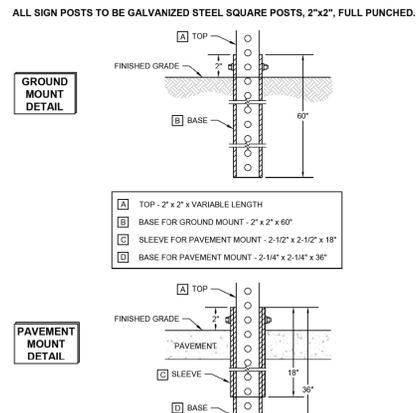
**PERPENDICULAR CURB RAMPS FOR SIDEWALKS**



- NOTES:**
- ALL EXISTING ABUTTING EXPANSION JOINT MATERIAL SHALL BE REMOVED AND REPLACED.
  - WHITE CURING COMPOUND PER DOT SECTION 1022 (D/C), SHALL BE APPLIED TO THE CONCRETE IMMEDIATELY AFTER IT HAS BEEN FINISHED OR PER MANUFACTURER'S RECOMMENDATION.
  - DRIVEWAY FLARE SHALL BE A MAXIMUM OF 2 FEET WIDE AS MEASURED FROM THE SIDEWALK TO THE BACK OF CURB. IF NO SIDEWALK EXISTS, THE WIDTH OF THE FLARE SHALL BE MEASURED FROM A POINT 6 FEET BEHIND THE BACK OF CURB TO THE BACK OF CURB.
  - PRE-POUR INSPECTION REQUIRED BY THE ENGINEERING DIVISION PRIOR TO PLACEMENT OF PAVEMENT AFTER FORMING IS IN PLACE. PLEASE CALL (847) 919-2020 TO SCHEDULE INSPECTIONS.

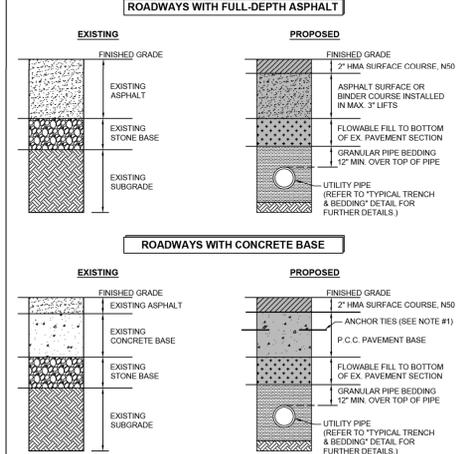
**RESIDENTIAL DRIVEWAY APRON**

**Libertyville**  
STANDARD DETAIL # PAV - 07



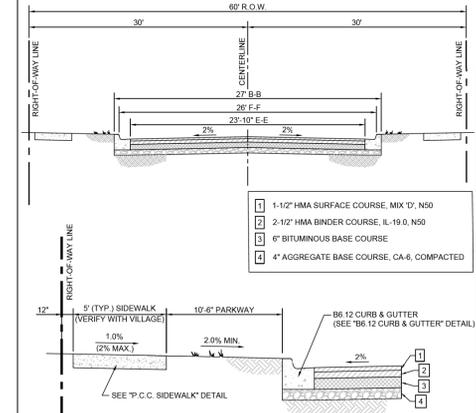
**SIGN POST**

**Libertyville**  
STANDARD DETAIL # PAV - 10



**UTILITY TRENCH PAVEMENT PATCH**

**Libertyville**  
STANDARD DETAIL # PAV - 11



**TYPICAL RESIDENTIAL ROADWAY SECTION**

**Libertyville**  
STANDARD DETAIL # PAV - 12

**MEYER SUBDIVISION**  
245 WALNUT STREET, LIBERTYVILLE, ILLINOIS

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DESCRIPTION

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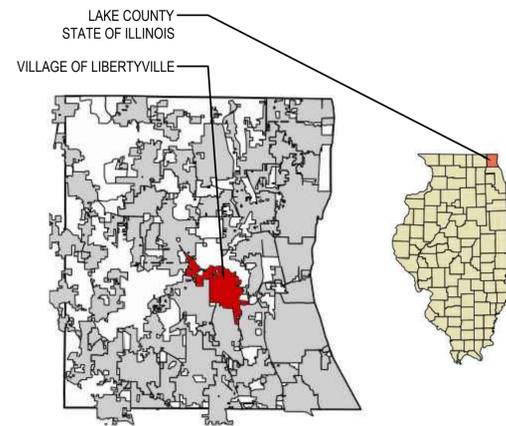
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JOB No. 2596



# FINAL LANDSCAPE PLAN SET MEYER SUBDIVISION

## 245 WALNUT STREET, LIBERTYVILLE, IL 60048



FINAL LANDSCAPE PLAN SET

July 10, 2025

### SITE PLANNERS & LANDSCAPE ARCHITECTS

**TESKA ASSOCIATES, INC.**  
627 GROVE STREET  
EVANSTON, IL 60201  
P: 847-869-2015 F: 847-869-2059

### CIVIL ENGINEER'S OF RECORD

**PEARSON, BROWN, & ASSOCIATES, INC.**  
1850 WEST WINCHESTER ROAD, SUITE 205  
LIBERTYVILLE, IL 60048  
P: 847-367-6707

### OWNER

**COME TOMORROW, LLC.**  
1700 FRANKLIN BOULEVARD  
LIBERTYVILLE, IL 60048  
P: 847-918-8169

Sheet List Table	
Sheet Number	Sheet Title
G-0	COVER
L-1.0	EXISTING CONDITIONS
L-1.1	ANNEXATION PLAN
L-1.2	PROPOSED ZONING MAP AMENDMENT
L-2.0	TREE PROTECTION & REMOVALS PLAN
L-3.0	TREE INVENTORY
L-4.0	LANDSCAPE PLANTING PLAN
L-4.1	LANDSCAPE ENLARGEMENT PLANS
L-5.0	LANDSCAPE SCHEDULE
L-6.0	PLANTING DETAILS & NOTES

DRAWINGS PREPARED BY:



627 Grove Street, Evanston, Illinois 60201  
Tel 847.869.2015 Fax 847.869.2059



CALL JULIE 1-800-892-0123  
WITH THE FOLLOWING:  
COUNTY: LAKE COUNTY, IL  
CITY/TOWNSHIP: LIBERTYVILLE, IL  
Two (2) working days before you dig  
(Excluding Sat., Sun. & Holidays)



client / owner  
COME TOMORROW LLC.  
project name  
MEYER SUBDIVISION

project address  
245 WALNUT STREET  
LIBERTYVILLE, IL 60048

seal / signature

owner / developer  
COME TOMORROW LLC.  
1700 FRANKLIN BOULEVARD  
LIBERTYVILLE, IL 60048  
p 847.918.8169  
landscape architect of record  
TESKA ASSOCIATES, INC.  
627 GROVE STREET  
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COVER

sheet number

G-0



teska  
627 Grove Street, Evanston, Illinois 60201  
Tel 847.869.2015 Fax 847.869.2059

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COME TOMORROW LLC.  
project name  
MEYER SUBDIVISION

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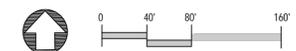
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1 EXISTING CONDITIONS PLAN

SCALE: 1"=80'





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 project name  
 MEYER SUBDIVISION

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landscape architect of record  
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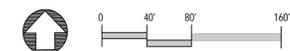
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**ANNEXATION PLAN**

sheet number

**L-1.1**



1 ANNEXATION PLAN  
 SCALE: 1"=80'





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 landscape architect of record  
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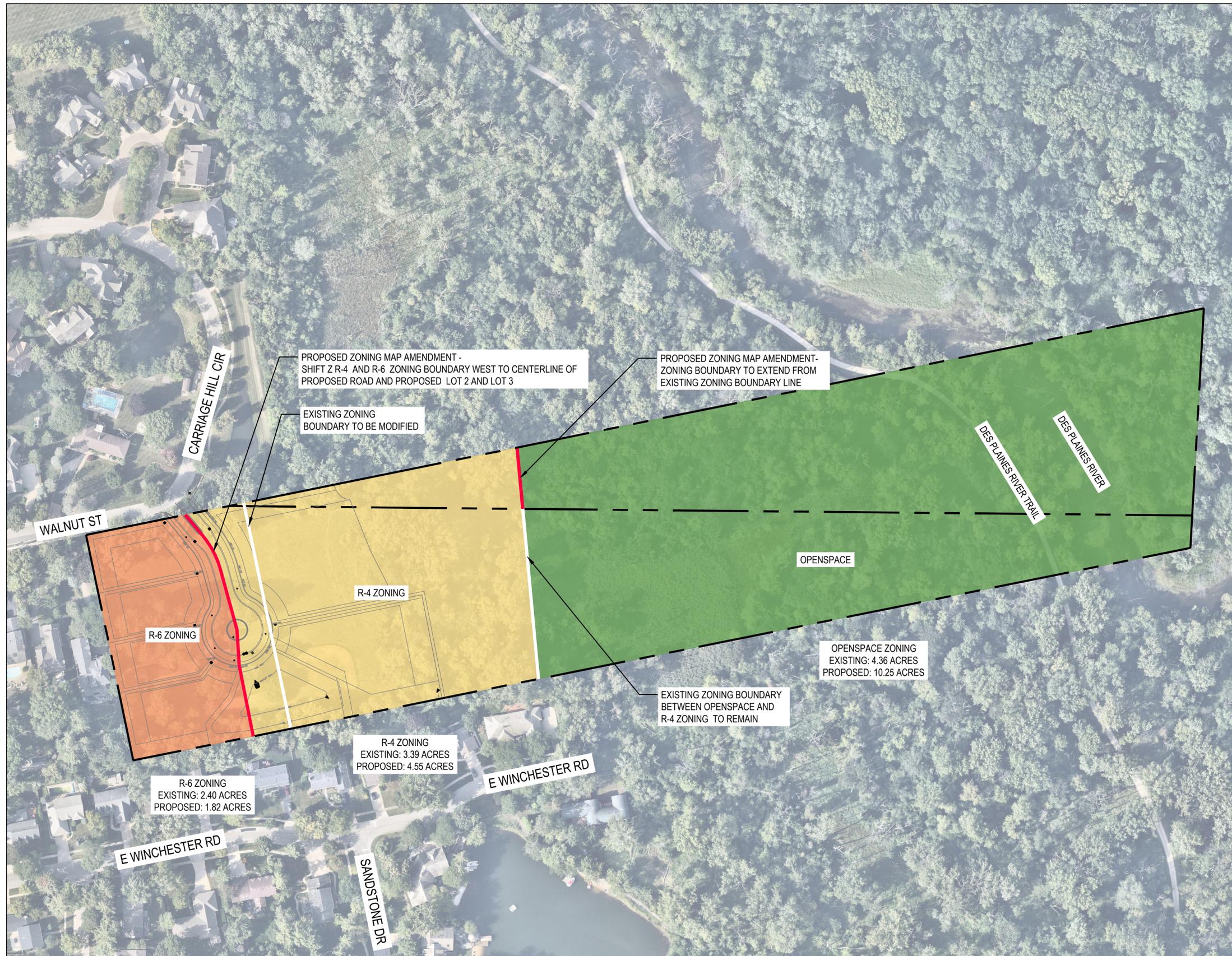
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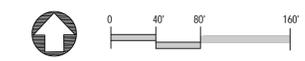
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sheet name  
**PROPOSED ZONING MAP AMENDMENT PLAN**  
 sheet number

**L-1.2**



**1** PROPOSED ZONING MAP AMENDMENT PLAN  
 SCALE: 1"=80'



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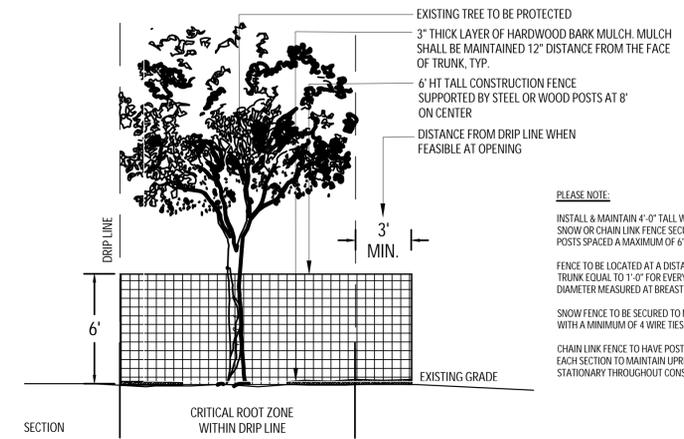
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**TREE PROTECTION & REMOVALS PLAN**

sheet number

**L-2.0**



TREE PROTECTION FENCING, TYP.

- #91  TREE TO BE REMOVED, TYP.
- #58  TREE TO BE PROTECTED, TYP.

PLAN FOR TREE REMOVALS AND PRESERVATION ONLY

REFER TO CIVIL SET FOR ALL OTHER DEMOLITION.

THE TREE PROTECTION AND REMOVALS PLAN IS SUBMITTED IN ACCORDANCE WITH ARTICLE IV OF THE VILLAGE OF LIBERTYVILLE TREE PRESERVATION ORDINANCE, FOR SITE DEVELOPMENT REVIEW AND APPROVAL. THE PROPOSED TREE REMOVALS ARE SUBMITTED FOR APPROVAL IN CONJUNCTION WITH THE FINAL LANDSCAPE PLAN. IT IS UNDERSTOOD THAT THESE REMOVALS WOULD NOT BE FURTHER REGULATED BY TREE REPLACEMENT REQUIREMENTS FOR SINGLE PARCELS AS STATED ELSEWHERE IN THE ORDINANCE.







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Tel 847.869.2015 Fax 847.869.2059

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landscape architect of record  
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p 847.869.2015 f 847.869.2059

STREET TREES REQUIRED: 7 (1 TREE PER 60 LF, 400 LF ROADWAY LENGTH)  
STREET TREES PROVIDED: 12

SEE L-4.1 PLAN 1 FOR LANDSCAPE ENLARGEMENT PLAN FOR BOULEVARD

PER VILLAGE OF LIBERTYVILLE ARBORIST DIRECTION, NO STREET TREES TO BE PLANTED WITHIN NARROW PARKWAY AREA

WALNUT ST

CARRIAGE HILL CIR

(3) Slender Silhouette Sweet Gum

NO DISTURBANCE PAST FLOOD PLAIN

(2) Princeton Sentry Ginkgo

EXISTING TREE, TYP.

WMV BBOX TYP.

ALL STREET TREES TO BE PLANTED 15' MIN FROM DRIVEWAY APRONS TYP.

ESTIMATED LOCATIONS OF DRIVEWAY APRONS

(3) Yellow Buckeye

(2) Red Oak

(1) Ivory Silk Japanese Tree Lilac

(2) 'Autumn Brilliance' Serviceberry

(3) Triumph Elm

(106 218 sf) IDOT Class 1 Lawn Mixture

(2) Princeton Sentry Ginkgo

SEE L-4.1 PLAN 2 FOR LANDSCAPE ENLARGEMENT PLAN OF CUL-DE-SAC

(3) River Birch

(6 131 sf) Stantec Emergent Wetland Seed Mix

(3) Redpointe Red Maple ( Multistem)

(11 476 sf) Stantec Wetland Edge Seed Mix

HYDRANT

STREET LIGHT

NO WOODY SHRUBS OR TREES PLANTED WITHIN SWALES TYP.

(7 123 sf) Stantec Slope Stabilization Seed Mix

(3) Redpointe Red Maple ( Multistem)

(3) River Birch

(5 052 sf) Stantec Slope Stabilization Seed Mix

(1 652 sf) Stantec Swale Seed Mix

(5) Eastern Redcedar

(3) Allegheny Serviceberry Multi-trunk

(5) Red Chokeberry

(5) Red Chokeberry

(3) Staghorn Sumac

(3) Eastern Redcedar

(3 694 sf) Stantec Swale Seed Mix

(3) Green Colorado Spruce

(6) Red Twig Dogwood

(5) Allegheny Serviceberry Multi-trunk

(3) Red Chokeberry

(3) Green Colorado Spruce

(6) Red Twig Dogwood

(5) Staghorn Sumac

(3) Red Chokeberry

NO WOODY SHRUBS OR TREES PLANTED WITHIN SWALES TYP.

(12) Blue Muffin A-wood Viburnum

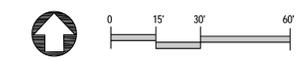
(3) Swamp White Oak

(4) Eastern Redcedar

(3) Green Colorado Spruce

1 LANDSCAPE PLANTING PLAN

SCALE: 1"=30'



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LANDSCAPE PLANTING PLAN

sheet number

L-4.0



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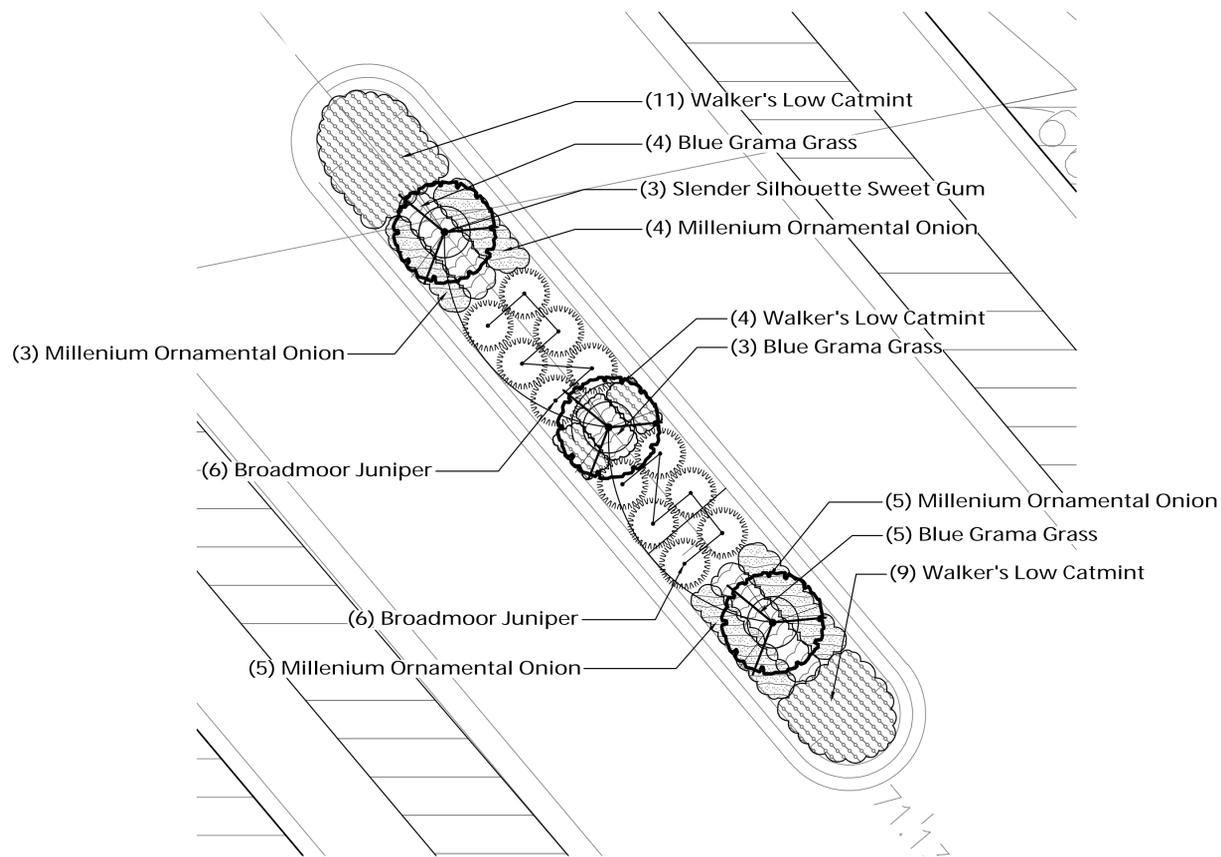
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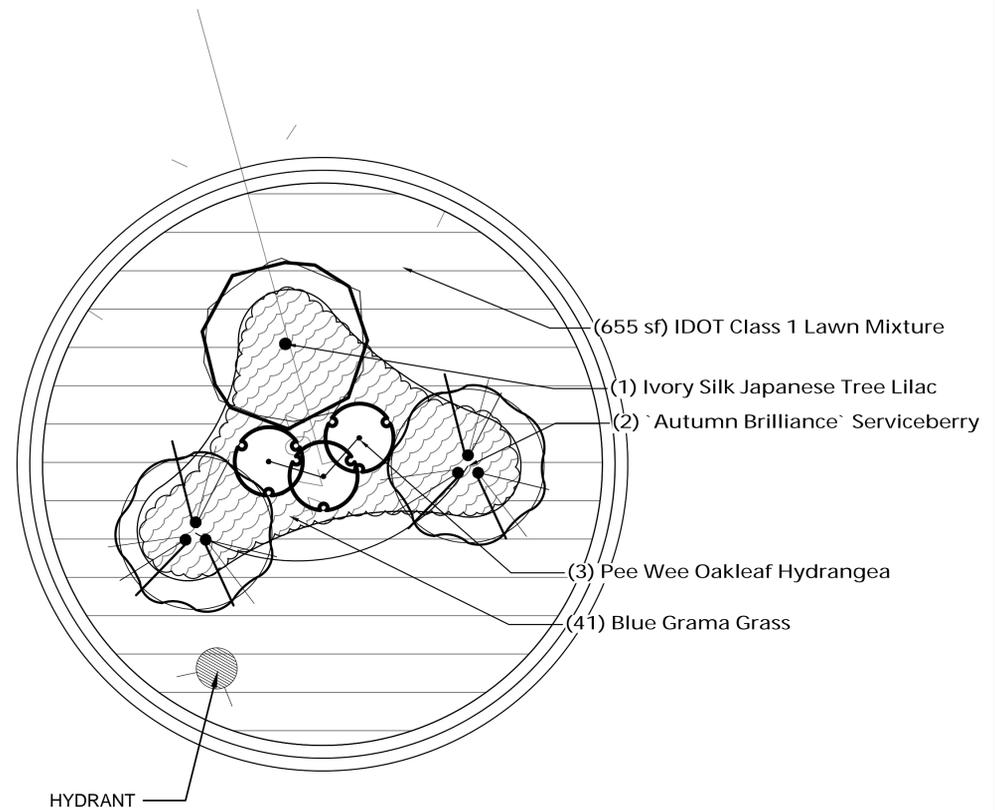
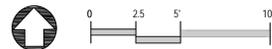
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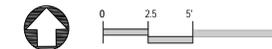
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**1** LANDSCAPE ENLARGEMENT PLAN FOR BOULEVARD  
SCALE: 1"=5'

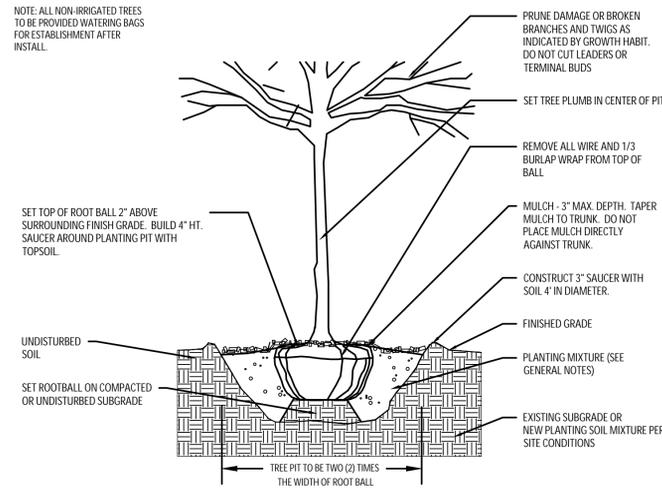


**2** LANDSCAPE ENLARGEMENT PLAN FOR CUL DE SAC  
SCALE: 1"=5'

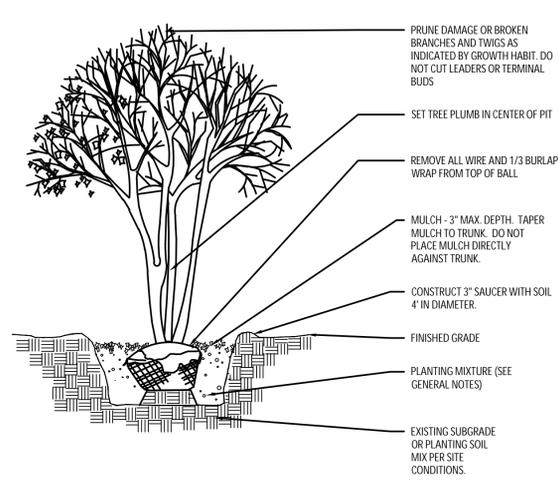




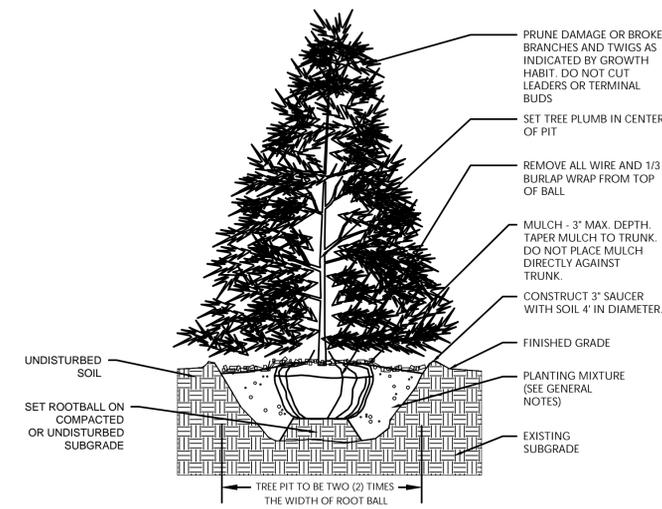
NOTE: ALL NON-IRRIGATED TREES TO BE PROVIDED WATERING BAGS FOR ESTABLISHMENT AFTER INSTALL.



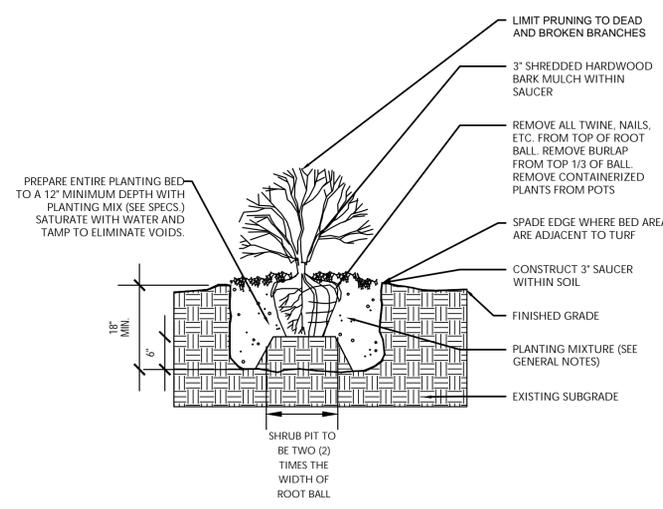
**1** TYP. DECIDUOUS TREE PLANTING DETAIL  
SCALE: NTS



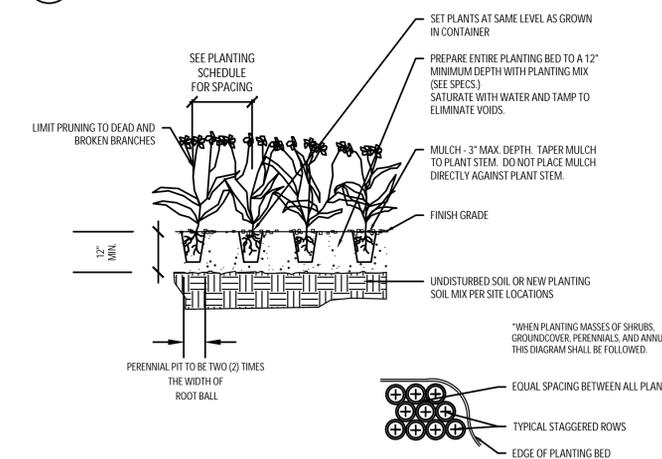
**2** TYP. ORNAMENTAL TREE PLANTING DETAIL  
SCALE: NTS



**3** TYP. EVERGREEN TREE PLANTING DETAIL  
SCALE: NTS



**4** TYP. SHRUB PLANTING DETAIL  
SCALE: NTS



**5** TYP. PERENNIAL PLANTING DETAIL  
SCALE: NTS

**LANDSCAPE GENERAL NOTES:**

- PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION ACTIVITIES, CONTRACTOR SHALL NOTIFY J.U.L.I.E. (811) OR (800) 892.0123 TO DETERMINE THE LOCATION OF ANY UNDERGROUND UTILITIES, WHICH MAY AFFECT PROPOSED SITE WORK. CONTRACTOR SHALL NOTIFY THE OWNER/LANDSCAPE ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES, OBSTACLES AND/OR PROBLEMS.
- VERIFICATION OF DIMENSIONS AND GRADES, BOTH EXISTING AND PROPOSED, SHALL BE THE CONTRACTOR'S RESPONSIBILITY PRIOR TO COMMENCEMENT OF WORK. THE CONTRACTOR SHALL NOTIFY THE OWNER/LANDSCAPE ARCHITECT OF ANY DISCREPANCIES.
- ALL SURFACE DRAINAGE SHALL BE DIRECTED AWAY FROM STRUCTURES. SURFACE DRAINAGE SHALL BE DIRECTED TO EXISTING CATCH BASINS DESIGNATED FOR THE COLLECTION OF SURFACE RUN-OFF.
- PLANT MATERIAL SIZES SHOWN ON PLANT SCHEDULE ARE MINIMUM ACCEPTABLE SIZES. ALL PLANT MATERIAL SHALL BE OF SPECIMEN QUALITY. NO 'PARK GRADE' MATERIAL WILL BE ACCEPTED.
- ALL PLANT MATERIAL SHALL BE OBTAINED FROM AN APPROVED NORTHERN ILLINOIS NURSERY WITH HEAVY CLAY SOILS.
- ALL PLANT MATERIAL SHALL CONFORM TO AMERICAN STANDARD FOR NURSERY STOCK AS SPONSORED BY THE AMERICAN ASSOCIATION OF NURSERYMEN AND APPROVED BY THE AMERICAN NATIONAL STANDARDS INSTITUTE, INC. (ANSI)
- IF SPECIFIED SPECIES AND/ OR QUALITY OF PLANTS ARE NOT AVAILABLE AT THE TIME OF ORDERING, THE LANDSCAPE ARCHITECT, AT HIS/HER DISCRETION, MAY SUBSTITUTE SIMILAR PLANTS WITH THE SAME WHOLESALE VALUE.
- ALL PLANTS TO BE BALLED IN BURLAP (B&B) OR CONTAINER GROWN (CG) AS SPECIFIED IN PLANT SCHEDULE. ALL NYLON/PLASTIC/BURLAP ROOT WRAPPING MATERIAL AND METAL WIRE BASKETS SHALL BE REMOVED.
- SOIL TO BE USED FOR THE PLANTING MEDIUM FOR THE PROJECT SHALL BE FERTILE, WELL-DRAINED, OF UNIFORM QUALITY, FREE OF STONES OVER 1" IN DIAMETER, STICKS, OILS, CHEMICALS, PLASTER, CONCRETE AND OTHER DELETERIOUS MATERIAL.
- ALL LANDSCAPE MATERIALS SHALL BE INSTALLED IN ACCORDANCE WITH ALL APPLICABLE CODES AND ORDINANCES.
- ALL LANDSCAPE MATERIALS SHALL BE INSTALLED IN CONFORMANCE WITH THE ACCEPTED INDUSTRY'S STANDARD 'BEST MANAGEMENT PRACTICE' TECHNIQUES AS IDENTIFIED BY THE ILLINOIS LANDSCAPE CONTRACTORS ASSOCIATION (ILCA).
- THE OWNER AND/OR LANDSCAPE ARCHITECT RESERVES THE RIGHT TO REJECT ANY PLANT MATERIAL IN POOR CONDITION/FORM OR NOT INSTALLED ACCORDING TO 'BEST MANAGEMENT PRACTICE' TECHNIQUES.
- THE LANDSCAPE CONTRACTOR SHALL PREPARE PLANTING BEDS BY ADDING SOIL AMENDMENTS TO TOPSOIL MIX IN THE FOLLOWING QUANTITIES: TOPSOIL MIX FOR TREES & SHRUBS SHALL BE THREE (3) PARTS TOPSOIL, ONE (1) PART PEAT, AND ONE (1) PART SAND. TOPSOIL MIX FOR PERENNIALS & GROUNDCOVER SHALL BE THREE (3) PARTS TOPSOIL, ONE (1) PART SAND, AND TWO (2) PARTS COMPOST.
- ALL WOODY PLANTINGS TO RECEIVE 3" OF SHREDDED HARDWOOD MULCH. ALL HERBACEOUS PLANTINGS TO RECEIVE 2" OF LEAF COMPOST.
- CONTRACTOR SHALL WATER PLANTS IMMEDIATELY AFTER PLANTING. FLOODING PLANTS TWICE DURING FIRST TWENTY-FOUR HOURS AFTER PLANTING.
- ALL ROAD AND WALK SURFACES SHALL BE KEPT CLEAR OF MUD AND DEBRIS AT ALL TIMES.
- CONTRACTOR SHALL REPAIR IN KIND ANY AREAS DAMAGED AS A RESULT OF LANDSCAPE OPERATIONS.
- GUARANTEE SPECIFICATIONS ARE AS FOLLOWS: THE CONTRACTOR SHALL PROVIDE THE OWNER WITH A BONDED WRITTEN ONE-YEAR WARRANTY AGREEMENT BEGINNING ON THE FIRST DAY OF THE OWNER'S POSSESSION. THIS AGREEMENT SHALL PROVIDE FOR THE REPLACEMENT OF DEAD OR DYING PLANT MATERIAL. THE CONTRACTOR SHALL PROVIDE THE OWNER WITH A TYPEWRITTEN LIST OF SPECIFIC MAINTENANCE INSTRUCTIONS FOR EACH TYPE OF PLANT INSTALLED WITH THE WRITTEN AGREEMENT AND BOND.
- EROSION CONTROL BLANKETS REQUIRED ON ALL SLOPES GREATER THAN 3:1.



client / owner  
COME TOMORROW LLC.  
project name  
MEYER SUBDIVISION

project address  
245 WALNUT STREET  
LIBERTYVILLE, IL 60048

seal / signature

owner / developer  
COME TOMORROW LLC.  
1700 FRANKLIN BOULEVARD  
LIBERTYVILLE, IL 60048  
p 847.918.8169

landscape architect of record  
TESKA ASSOCIATES, INC.  
627 GROVE STREET  
EVANSTON, IL 60201  
p 847.869.2015 f 847.869.2059

**CHECK SET**  
NOT FOR CONSTRUCTION

issue / revision	date	description
△	7/11/25	FINAL LANDSCAPE PLANS
△		
△		
△		
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pm la cad

issue date 7/11/2025

sheet name  
**PLANTING DETAILS & NOTES**

sheet number

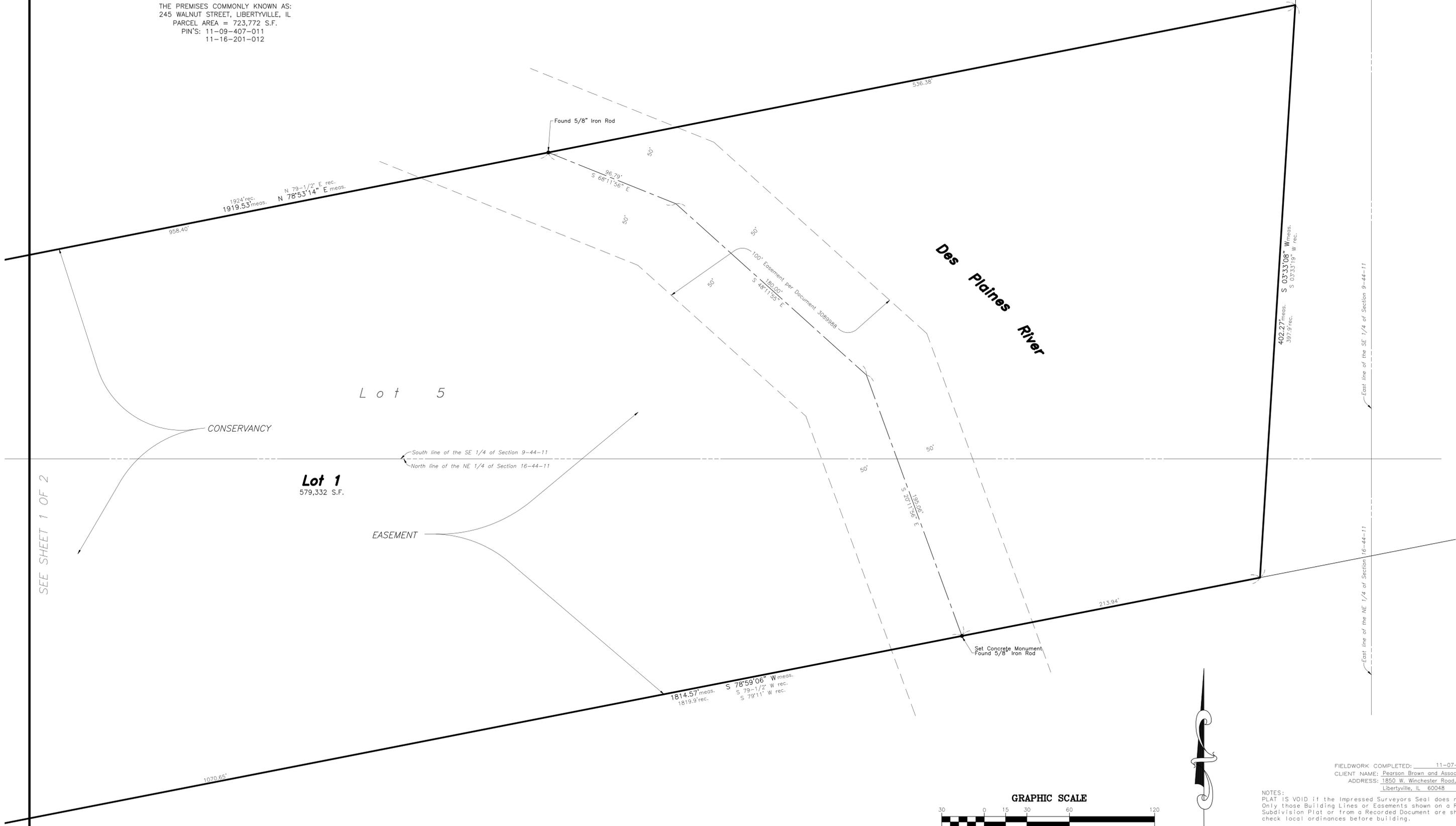
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# PRELIMINARY PLAT OF MEYER SUBDIVISION

BEING IN THAT PART OF SECTION 16 AND A PART OF THE SOUTH  
HALF OF SECTION 9, IN TOWNSHIP 44 NORTH, RANGE 11 EAST OF  
THE THIRD PRINCIPAL MERIDIAN, IN LAKE COUNTY, ILLINOIS.

THE PREMISES COMMONLY KNOWN AS:  
245 WALNUT STREET, LIBERTYVILLE, IL  
PARCEL AREA = 723,772 S.F.  
PIN'S: 11-09-407-011  
11-16-201-012

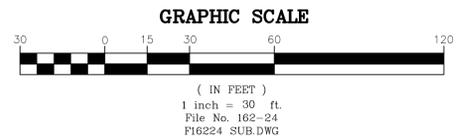


FIELDWORK COMPLETED: 11-07-2024  
CLIENT NAME: Pearson Brown and Associates, Inc.  
ADDRESS: 1850 W. Winchester Road, Suite 205  
Libertyville, IL 60048

NOTES:  
PLAT IS VOID if the Impressed Surveyors Seal does not appear.  
Only those Building Lines or Easements shown on a Recorded  
Subdivision Plat or from a Recorded Document are shown hereon;  
check local ordinances before building.

Compare your description and site markings with this plat AT  
ONCE report any discrepancies which you may find.

**R.E. ALLEN AND ASSOCIATES, LTD.**  
PROFESSIONAL LAND SURVEYORS  
1015 N. CORPORATE CIRCLE, SUITE C  
GRAYSLAKE, ILLINOIS 60030  
PHONE: 847-223-0914 FAX: 847-223-0980



\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

PRELIMINARY PLAT  
OF

MEYER SUBDIVISION

BEING IN THAT PART OF SECTION 16 AND A PART OF THE SOUTH  
HALF OF SECTION 9, IN TOWNSHIP 44 NORTH, RANGE 11 EAST OF  
THE THIRD PRINCIPAL MERIDIAN, IN LAKE COUNTY, ILLINOIS.

OWNER'S CERTIFICATE  
STATE OF ILLINOIS )  
COUNTY OF LAKE ) S.S.

THIS IS TO CERTIFY THAT THE UNDERSIGNED IS THE SOLE OWNER OF THE LAND DESCRIBED IN THE ANNEXED PLAT HEREIN, THAT NO OTHER PERSON HAS ANY RIGHT, TITLE OR INTEREST IN SAID LAND AND THE HE HAS CAUSED THE SAME TO BE SURVEYED AND CONSOLIDATED AS INDICATED THEREON FOR THE USES AND PURPOSES THEREIN SET FORTH, AND DOES HEREBY ACKNOWLEDGE AND ADOPT THE SAME UNDER THE TITLE THEREON INDICATED.

DATED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_ A.D. 20 \_\_\_\_\_.

OWNER: \_\_\_\_\_ OWNER: \_\_\_\_\_

OWNER: \_\_\_\_\_ OWNER: \_\_\_\_\_

ADDRESS: \_\_\_\_\_

CITY, STATE: \_\_\_\_\_

NOTARY CERTIFICATE  
STATE OF ILLINOIS )  
COUNTY OF LAKE ) S.S.

I, \_\_\_\_\_, A NOTARY PUBLIC IN AND FOR SAID COUNTY, IN THE STATE OF ILLINOIS, DO HEREBY CERTIFY THAT \_\_\_\_\_ PERSONALLY KNOWN TO ME TO BE THE SAME PERSONS WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT AS SUCH OWNER, APPEARED BEFORE ME THIS DAY IN PERSON AND ACKNOWLEDGED THAT HE SIGNED AND DELIVERED THE ANNEXED PLAT AS HIS OWN FREE AND VOLUNTARY ACT FOR THE USES AND PURPOSES THEREIN SET FORTH.

GIVEN UNDER MY HAND AND NOTARIAL SEAL, THIS \_\_\_\_\_ DAY OF \_\_\_\_\_ A.D. 20 \_\_\_\_\_, AT \_\_\_\_\_, ILLINOIS.

\_\_\_\_\_  
NOTARY PUBLIC

SCHOOL DISTRICT CERTIFICATE

THIS IS TO CERTIFY THAT \_\_\_\_\_, AS OWNER OF THE PROPERTY DESCRIBED AS \_\_\_\_\_ MEYER SUBDIVISION AND LEGALLY DESCRIBED ON THE PLAT OF THE SAME NAME, HAVE DETERMINED TO THE BEST OF MY KNOWLEDGE THE SCHOOL DISTRICT ON WHICH EACH OF THE FOLLOWING LOT LIES.

SIGNATURE OF OWNER \_\_\_\_\_

LOT NUMBER(S)	ELEMENTARY	SCHOOL DISTRICTS	HIGH SCHOOL
ALL	70		128

NOTARY CERTIFICATE  
STATE OF ILLINOIS )  
COUNTY OF LAKE ) S.S.

I, \_\_\_\_\_, NOTARY PUBLIC, DO HEREBY CERTIFY THAT \_\_\_\_\_ OWNER OF THE PROPERTY COMMONLY KNOWN AS \_\_\_\_\_ MEYER SUBDIVISION, APPEARED BEFORE ME THIS DAY IN PERSON AND ACKNOWLEDGED THE EXECUTION OF THIS STATEMENT AS THEIR FREE AND VOLUNTARY ACT. GIVEN UNDER MY HAND AND SEAL THIS \_\_\_\_\_ DAY OF \_\_\_\_\_ A.D. 20 \_\_\_\_\_.

\_\_\_\_\_  
NOTARY PUBLIC

SURVEYOR CERTIFICATE  
STATE OF ILLINOIS )  
COUNTY OF LAKE ) S.S.

THIS IS TO CERTIFY THAT I, \_\_\_\_\_ BRYAN J. LEE \_\_\_\_\_, ILLINOIS PROFESSIONAL LAND SURVEYOR NO. 35-3616, HAVE SURVEYED AND SUBDIVIDED THE FOLLOWING DESCRIBED PROPERTY:

LOT 5 IN MILLER AND AUSTIN SUBDIVISION OF A PART OF LOT 7 OF SCHOOL TRUSTEES' SUBDIVISION OF SECTION 16 AND A PART OF THE SOUTH HALF OF SECTION 9, IN TOWNSHIP 44 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF, RECORDED DECEMBER 28, 1914 AS DOCUMENT 156883, IN BOOK "J" OF PLATS, PAGE 32, IN LAKE COUNTY, ILLINOIS.

AS SHOWN BY THE ANNEXED PLAT WHICH IS CORRECT REPRESENTATION OF SAID SURVEY AND SUBDIVISION. ALL DISTANCES ARE SHOWN IN FEET AND DECIMALS THEREOF. I FURTHER CERTIFY THAT ALL REGULATIONS ENACTED BY THE BOARD OF TRUSTEES RELATIVE TO PLATS AND SUBDIVISIONS HAVE BEEN COMPLIED WITH IN THE PREPARATION OF THIS PLAT AND THAT THIS PROFESSIONAL SERVICE CONFORMS TO THE CURRENT ILLINOIS MINIMUM STANDARDS FOR A BOUNDARY SURVEY.

THIS IS ALSO TO CERTIFY THAT THE PROPERTY, AS DESCRIBED ON THE ANNEXED PLAT, LIES WITHIN THE CORPORATE LIMITS OF THE VILLAGE OF LIBERTYVILLE, ILLINOIS.

BASED UPON EXAMINATION OF THE F.E.M.A. MAPS, IT HAS BEEN DETERMINED THAT SOME OF THE PROPERTY SHOWN HEREON IS SUBJECT TO FLOOD RISK (THE PROPERTY FALLS WITHIN THE ZONES "X" AND "AE" AREAS) AS PORTRAYED ON FLOOD INSURANCE RATE MAP, COMMUNITY PANEL NO. 17097C0162K, EFFECTIVE DATE: SEPTEMBER 18, 2013.

GIVEN UNDER MY HAND AND SEAL AT GRAYSLAKE, ILLINOIS, THIS \_\_\_\_\_ DAY OF \_\_\_\_\_ A.D. 20 \_\_\_\_\_.

ILLINOIS PROFESSIONAL LAND SURVEYOR #35-3616  
MY LICENSE EXPIRES 11-30-26  
PROFESSIONAL DESIGN FIRM NO. 184-002732

APPROVAL BY VILLAGE PRESIDENT  
STATE OF ILLINOIS )  
COUNTY OF LAKE ) S.S.

APPROVED AND ACCEPTED BY THE PRESIDENT AND BOARD OF TRUSTEES OF THE VILLAGE OF LIBERTYVILLE, LAKE COUNTY, ILLINOIS, AT A MEETING HELD THIS \_\_\_\_\_ DAY OF \_\_\_\_\_ A.D. 20 \_\_\_\_\_.

ATTEST: \_\_\_\_\_ VILLAGE CLERK \_\_\_\_\_ PRESIDENT \_\_\_\_\_

VILLAGE ENGINEER'S CERTIFICATE  
STATE OF ILLINOIS )  
COUNTY OF LAKE ) S.S.

APPROVED AND ACCEPTED BY THE VILLAGE ENGINEER OF LIBERTYVILLE, LAKE COUNTY, ILLINOIS, THIS \_\_\_\_\_ DAY OF \_\_\_\_\_ A.D. 20 \_\_\_\_\_.

VILLAGE ENGINEER \_\_\_\_\_

APPROVAL BY THE PLANNING COMMISSION  
STATE OF ILLINOIS )  
COUNTY OF LAKE ) S.S.

APPROVED AND ACCEPTED BY THE PLAN COMMISSION OF THE VILLAGE OF LIBERTYVILLE, LAKE COUNTY, ILLINOIS, AT A MEETING HELD THIS \_\_\_\_\_ DAY OF \_\_\_\_\_ A.D. 20 \_\_\_\_\_.

\_\_\_\_\_  
CHAIRMAN OF SAID PLAN COMMISSION

VILLAGE TREASURER  
STATE OF ILLINOIS )  
COUNTY OF LAKE ) S.S.

I, \_\_\_\_\_, TREASURER OF THE VILLAGE OF LIBERTYVILLE, LAKE COUNTY, ILLINOIS, DO HEREBY CERTIFY THAT I HAVE EXAMINED THE SPECIAL ASSESSMENT RECORDS OF SAID VILLAGE, AND THAT I FIND THAT ALL DEFERRED INSTALLMENTS, NOW DUE, OR OUTSTANDING UNPAID SPECIAL ASSESSMENTS RELATING TO THE PROPERTY INCLUDED IN THIS PLAT OF SUBDIVISION HAVE BEEN PAID. DATED AT LIBERTYVILLE, ILLINOIS, THIS \_\_\_\_\_ DAY OF \_\_\_\_\_ A.D. 20 \_\_\_\_\_.

VILLAGE OF LIBERTYVILLE TREASURER \_\_\_\_\_

COUNTY CLERK'S CERTIFICATION  
STATE OF ILLINOIS )  
COUNTY OF LAKE ) S.S.

I, \_\_\_\_\_, COUNTY CLERK OF LAKE COUNTY, ILLINOIS, DO HEREBY CERTIFY THAT THERE ARE NO DELINQUENT GENERAL TAXES, UNPAID CURRENT GENERAL TAXES, DELINQUENT SPECIAL ASSESSMENTS OR UNPAID CURRENT SPECIAL ASSESSMENTS AGAINST ANY OF THE LAND INCLUDED IN THE DESCRIBED PROPERTY. I FURTHER CERTIFY THAT I HAVE RECEIVED ALL STATUTORY FEES IN CONNECTION WITH THE PLAT. GIVEN UNDER MY HAND AND SEAL OF THE COUNTY CLERK OF LAKE COUNTY, ILLINOIS.

DATED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_ A.D. 20 \_\_\_\_\_.

\_\_\_\_\_  
LAKE COUNTY CLERK

DRAINAGE CERTIFICATE

"TO THE BEST OF OUR KNOWLEDGE AND BELIEF THE DRAINAGE OF SURFACE WATERS WILL NOT BE CHANGED BY THE CONSTRUCTION OF SUCH SUBDIVISION OR ANY PART THEREOF, OR, THAT IF SUCH SURFACE WATER DRAINAGE WILL BE CHANGED, REASONABLE PROVISION HAS BEEN MADE FOR COLLECTION AND DIVERSION OF SUCH SURFACE WATERS INTO PUBLIC AREAS, OR DRAINS WHICH THE SUBDIVIDER HAS A RIGHT TO USE AND THAT SUCH SURFACE WATERS WILL BE PLANNED FOR IN ACCORDANCE WITH GENERALLY ACCEPTED ENGINEERING PRACTICES SO AS TO REDUCE THE LIKELIHOOD OF DAMAGE TO THE ADJOINING PROPERTY BECAUSE OF CONSTRUCTION OF THE SUBDIVISION"

OWNER OR AGENT \_\_\_\_\_ REGISTERED ILLINOIS PROFESSIONAL ENGINEER \_\_\_\_\_

SURVEYOR'S AUTHORIZATION TO RECORD  
STATE OF ILLINOIS )  
COUNTY OF LAKE ) S.S.

I, \_\_\_\_\_ BRYAN J. LEE \_\_\_\_\_, A ILLINOIS PROFESSIONAL LAND SURVEYOR NO. 3616, DO HEREBY GRANT PERMISSION TO \_\_\_\_\_, TO RECORD THIS PLAT AND PROVIDE THIS SURVEYOR A RECORDED COPY OF THE SAME. DATED AT GRAYSLAKE, ILLINOIS, THIS \_\_\_\_\_ DAY OF \_\_\_\_\_ A.D. 20 \_\_\_\_\_.

\_\_\_\_\_  
ILLINOIS PROFESSIONAL LAND SURVEYOR NO. 3616

IN ACCORDANCE WITH PUBLIC ACT 86-1238, THIS PLAT HAS BEEN SUBMITTED FOR RECORDING BY:

NAME: \_\_\_\_\_

ADDRESS: \_\_\_\_\_

CITY, STATE: \_\_\_\_\_

VILLAGE UTILITY EASEMENT PROVISIONS:

A PERMANENT AND PERPETUAL EASEMENT IS HEREBY GRANTED TO THE VILLAGE OF LIBERTYVILLE, LAKE COUNTY, ILLINOIS ("VILLAGE"), ITS SUCCESSORS AND ASSIGNS, TO SURVEY, CONSTRUCT, RECONSTRUCT, USE, OPERATE, MAINTAIN, TEST, INSPECT, REPAIR, REPLACE, ALTER, REMOVE OR ABANDON IN PLACE WATER, SANITARY SEWER AND STORM SEWER MAINS TOGETHER WITH RELATED ATTACHMENTS, EQUIPMENT AND APPURTENANCES THERETO, IN, UPON, UNDER, ALONG AND ACROSS THE AREAS DESIGNATED ON THE PLAN AND MARKED "VILLAGE UTILITY EASEMENT", TOGETHER WITH THE RIGHT OF ACCESS THERETO FOR THE PERSONNEL AND EQUIPMENT NECESSARY AND REQUIRED FOR SUCH USES AND PURPOSES.

THE OWNERS OF THE PROPERTY SHOWN ON THIS PLAT OR ANY PART THEREOF HEREBY RESERVE THE RIGHT TO USE THE AREAS DESIGNATED "VILLAGE UTILITY EASEMENT" AND ADJACENT PROPERTY IN ANY MANNER THAT WILL NOT PREVENT OR INTERFERE WITH THE EXERCISE BY THE VILLAGE OF THE RIGHTS HEREBY GRANTED; PROVIDED, HOWEVER, THAT THE OWNERS SHALL NOT IN ANY MANNER DISTURB, DAMAGE, DESTROY, INJURE, OBSTRUCT OR PERMIT TO BE OBSTRUCTED THE "VILLAGE UTILITY EASEMENT" AT ANY TIME WHATSOEVER WITHOUT THE EXPRESS PRIOR WRITTEN CONSENT OF THE VILLAGE OF LIBERTYVILLE.

RESTRICTIVE COVENANTS & EASEMENT FOR STORMWATER MANAGEMENT

THE AREA OF THE PROPERTY DESIGNATED ON THIS PLAT AS "STORMWATER MANAGEMENT AREA" SHALL BE CONTINUOUSLY MAINTAINED IN A FIRST RATE MANNER BY THE MEYER SUBDIVISION HOMEOWNERS' ASSOCIATION (THE "ASSOCIATION") AND AN EASEMENT ON, UNDER AND ABOVE THE STORMWATER MANAGEMENT AREA IS HEREBY GRANTED TO, AND FOR THE USE AND BENEFIT OF, ALL OF THE LOTS IN THIS SUBDIVISION AND THE HOMEOWNERS' ASSOCIATION FOR THE SOLE PURPOSE OF STORMWATER STORAGE AND CONVEYANCE. NO CHANGE SHALL BE MADE IN THE FINISHED GRADE OF THE LAND WITHIN THE STORMWATER MANAGEMENT AREA, NOR SHALL ANY CONSTRUCTION OF ANY KIND WHATSOEVER BE ERRECTED OR PERMITTED TO EXIST WITHIN THE STORMWATER MANAGEMENT AREA THAT MIGHT MATERIALLY IMPEDE STORMWATER DRAINAGE THEREIN OR MATERIALLY REDUCE THE STORMWATER STORAGE CAPACITY THEREOF. NOTWITHSTANDING THE FOREGOING, THE ASSOCIATION SHALL OPERATE, MAINTAIN, REPAIR AND REPLACE WITHIN THE STORMWATER MANAGEMENT AREA, TREES, SHRUBS, FENCES AND NORMAL LANDSCAPE PLANTING SHALL BE PERMITTED WITHIN THE STORMWATER MANAGEMENT AREA ONLY WITH THE PRIOR WRITTEN APPROVAL OF THE VILLAGE ENGINEER OF THE VILLAGE OF LIBERTYVILLE, LAKE COUNTY, ILLINOIS (THE "VILLAGE") OR CONSISTENT WITH THE APPROVED LANDSCAPE PLAN.

THE ASSOCIATION SHALL MAINTAIN A PROPER VEGETATIVE COVER ON THE SURFACE OF THE STORMWATER MANAGEMENT AREA, IN ACCORDANCE WITH THE APPROVED DESIGN PLANS, AND SHALL BE RESPONSIBLE FOR MAINTENANCE OF SAID VEGETATIVE COVER GENERALLY CONSISTENT WITH THE APPROVED LANDSCAPE PLAN. IN THE EVENT THE VILLAGE DETERMINES, IN ITS SOLE AND ABSOLUTE DISCRETION, THAT PRIOR MAINTENANCE OF THE STORMWATER MANAGEMENT AREA IS NOT PERFORMED AT ANY TIME, THE VILLAGE, AFTER TEN (10) DAYS PRIOR WRITTEN NOTICE TO THE ASSOCIATION, MAY, BUT SHALL NOT BE OBLIGATED TO, ENTER UPON THE STORMWATER MANAGEMENT AREA FOR THE PURPOSE OF PERFORMING MAINTENANCE WORK ON AND TO THE STORMWATER MANAGEMENT AREA.

IN THE EVENT THAT THE VILLAGE SHALL CAUSE TO BE PERFORMED ANY WORK PURSUANT TO THESE PARAGRAPHS, THE VILLAGE SHALL HAVE THE RIGHT TO CHARGE THE ASSOCIATION AN AMOUNT SUFFICIENT TO DEFRAY THE ENTIRE COST OF SUCH WORK OR ACTION, INCLUDING ADMINISTRATIVE COSTS, EITHER BEFORE OR AFTER SUCH COST IS INCURRED. IF THE AMOUNT SO CHARGED IS NOT PAID BY THE ASSOCIATION WITHIN THIRTY (30) DAYS FOLLOWING A DEMAND IN WRITING BY THE VILLAGE FOR SUCH PAYMENT, SUCH CHARGE, TOGETHER WITH INTEREST AND COSTS OF COLLECTION, SHALL BECOME A LIEN UPON THE STORMWATER MANAGEMENT AREA AND ALL LOTS WITHIN THIS SUBDIVISION AND THE VILLAGE SHALL HAVE THE RIGHT TO COLLECT SUCH CHARGE, WITH INTEREST AND COSTS, AND TO ENFORCE SUCH LIEN AS IN FORECLOSURE PROCEEDINGS AS PERMITTED BY LAW.

NOTHING IN THESE PARAGRAPHS SHALL BE CONSTRUED TO CONSTITUTE THE CREATION OF A PUBLIC USE EASEMENT OR A DEDICATION OF ANY PORTION OF THE STORMWATER MANAGEMENT AREA TO, OR AN ACCEPTANCE THEREOF BY, THE VILLAGE.

THE VILLAGE SHALL BE UNDER NO OBLIGATION TO EXERCISE THE RIGHTS GRANTED IN THESE PARAGRAPHS EXCEPT AS IT SHALL DETERMINE TO BE IN ITS BEST INTEREST. NO FAILURE TO EXERCISE AT ANY TIME ANY RIGHT HEREIN GRANTED TO THE VILLAGE SHALL BE CONSTRUED AS A WAIVER OF THAT OR ANY OTHER RIGHTS. THIS EASEMENT SHALL RUN WITH THE LAND IN THE SUBDIVISION SHOWN ON THIS PLAT, AND SHALL BE BINDING UPON AND INURE TO THE BENEFIT OF THE OWNERS OF ALL LOTS OF RECORD THEREIN, THEIR RESPECTIVE SUCCESSORS, ASSIGNS AND GRANTEEES AND AS PARTIES CLAIMING BY, THROUGH AND UNDER THEM. ENFORCEMENT OF THESE COVENANTS MAY BE SOUGHT BY THE OWNERS OF ANY LOTS OF RECORD IN THIS SUBDIVISION, ANY PERSON WITH AN INTEREST IN ANY OF SAID LOTS OF RECORD, OR THE VILLAGE OF LIBERTYVILLE BY ANY PROCEEDING AT LAW OR IN EQUITY AGAINST ANY PERSON OR PERSONS VIOLATING OR ATTEMPTING TO VIOLATE ANY COVENANT, EITHER TO RESTRAIN VIOLATION, TO COMPEL AFFIRMATIVE ACTION, OR TO RECOVER DAMAGES, AND AGAINST THE LAND TO ENFORCE ANY LIEN CREATED BY THESE COVENANTS. ADDITIONAL RESTRICTIONS GOVERNING THE USE, MAINTENANCE AND OPERATION OF THE STORMWATER MANAGEMENT AREA MAY BE CONTAINED IN THE DECLARATION OF COVENANTS, CONDITIONS AND RESTRICTIONS FOR MEYER SUBDIVISION. THIS EASEMENT MAY NOT BE MODIFIED WITHOUT THE EXPRESS WRITTEN CONSENT OF THE ASSOCIATION, THE VILLAGE AND EACH OWNER OF A LOT IN MEYER SUBDIVISION.

CONSERVANCY EASEMENT COVENANT

CONSERVANCY AREAS FOR THE PROTECTION OF NATURAL FEATURES, WHICH INCLUDE WETLANDS AND WETLAND BUFFERS, AND SHALL BE SUBJECT TO THE COVENANTS SPECIFICALLY SET FORTH HEREIN. THE FOLLOWING COVENANTS SHALL RUN WITH THE LAND AND SHALL BE BINDING ON ALL PARTIES AND THEIR SUCCESSORS, AND ALL PERSONS CLAIMING UNDER THEM:

- EXCEPT WITH RESPECT TO THE PEDESTRIAN PATH TO BE CONSTRUCTED THROUGH THE CONSERVANCY AREA AND UTILITIES INSTALLED AND MAINTAINED PURSUANT TO FINAL ENGINEERING PLANS AS MAY BE APPROVED BY THE VILLAGE OF LIBERTYVILLE (PERMITTED WORK), NO OTHER MAN-MADE STRUCTURE OF ANY KIND SHALL BE CONSTRUCTED IN THE CONSERVANCY AREA;
- EXCEPT FOR THE PERMITTED WORK AS MAY BE NECESSARY OR APPROPRIATE UNDER THE FOREGOING PROVISION, THE CONSERVANCY AREA SHALL NOT BE FILLED NOR SHALL THE GRADE BE ALTERED IN ANY RESPECT;
- NO MATERIALS SHALL BE UTILIZED OR STORED WHICH SHALL HAVE THE POTENTIAL FOR POLLUTING EITHER SURFACE OR GROUND WATER;
- EXCEPT AS RELATED TO THE PERMITTED WORK, THERE SHALL BE NO DISTURBING OF NATURAL VEGETATION UNLESS SAID VEGETATION IS NON-NATIVE OR POSES A THREAT TO HUMAN LIFE OR PROPERTY AND IN WHICH CASE, SHALL BE CONDUCTED IN ACCORDANCE WITH A MAINTENANCE PLAN THAT SHALL BE APPROVED BY THE VILLAGE OF LIBERTYVILLE AND/OR THE LAKE COUNTY STORMWATER MANAGEMENT COMMISSION;
- THE CONSERVANCY AREAS SHALL NOT BE FURTHER SUBDIVIDED;
- NO COMMERCIAL OR INDUSTRIAL ACTIVITY SHALL BE CONDUCTED WITHIN THE CONSERVANCY AREA, BUT NOTHING HEREIN IS INTENDED TO PREVENT USE OF THE CONSERVANCY AREA FOR PASSIVE RECREATIONAL USE;
- WASTE, DEBRIS, AND UNSIGHTLY OR OFFENSIVE MATERIAL IS NOT ALLOWED AND MAY NOT BE ACCUMULATED IN THE CONSERVANCY AREAS;
- MOTORIZED OFF-ROAD VEHICLES INCLUDING, BUT NOT LIMITED TO, SNOWMOBILES, DUNE BUGGIES, ALL-TERRAIN VEHICLES, AND MOTORCYCLES ARE PROHIBITED IN THE CONSERVANCY AREAS.

PUBLIC SERVICE AND UTILITY EASEMENT PROVISIONS FOR SANITARY, PUBLIC WATERMAIN, DRAINAGE, LANDSCAPING:

THE RIGHT OF INGRESS AND EGRESS IS HEREBY GRANTED TO THE VILLAGE OF LIBERTYVILLE, LAKE COUNTY, ILLINOIS, UPON, OVER, UNDER, ALONG AND ACROSS ALL PROPERTY DESCRIBED ON THIS PLAT OF SUBDIVISION FOR ENFORCING IN THE SUBDIVISION ALL APPLICABLE LAWS, FOR EMERGENCY VEHICLES OF ANY AND ALL TYPES, AND FOR PERSONNEL SERVICING EMERGENCY CONDITIONS IN THE SUBDIVISION, AND FOR ANY AND ALL OTHER EQUIPMENT AND PERSONAL AS MAY BE REASONABLY REQUIRED IN THE PERFORMANCE OF THE GOVERNMENTAL AND PROPRIETARY FUNCTIONS OF THE VILLAGE OF LIBERTYVILLE RELATED TO THE SUBDIVISION, OR OTHER GOVERNMENTS AND PUBLIC AGENCIES ACTING IN COOPERATION WITH THE VILLAGE OF LIBERTYVILLE. THE VILLAGE OF LIBERTYVILLE MAY TRANSFER TO, OR EXERCISE JOINTLY WITH, ANY OTHER GOVERNMENT OR PUBLIC AGENCY THE RIGHTS GRANTED TO THE VILLAGE OF LIBERTYVILLE HEREIN.

FURTHER PERPETUAL EASEMENTS AND RIGHT--OF--WAY FOR SERVING THE SUBDIVISION AND OTHER PROPERTY WITH PUBLIC UTILITIES AND MUNICIPAL SERVICES ARE HEREBY RESERVED FOR AND GRANTED TO THE VILLAGE OF LIBERTYVILLE, COMMONWEALTH EDISON CO., NORTH SHORE GAS CO., AMERITECH, AT&T CABLE SERVICES, AND SUCH OTHER PUBLIC UTILITIES AND PUBLIC SERVICE COMPANIES AS THE VILLAGE OF LIBERTYVILLE MAY AUTHORIZE, AND EACH OF THEIR RESPECTIVE SUCCESSORS AND ASSIGNS, JOINTLY AND SEVERALLY, TO SURVEY, INSTALL, LAY, REPLACE, ALTER, REMOVE OR ABANDON IN PLACE, FROM TIME TO TIME, FACILITIES AND APPURTENANCES USED IN CONNECTION WITH SERVING THE PROPERTY DESCRIBED ON THIS PLAT OF SUBDIVISION AND ADJACENT PROPERTY WITH TELEPHONE, COMMUNICATION, CABLE, ELECTRIC, SEWER, GAS, WATER AND MUNICIPAL SERVICES, IN, UPON, UNDER, ALONG AND ACROSS THE AREAS DESCRIBED ON THIS PLAT OF SUBDIVISION, OR THOSE SPECIFICALLY DESIGNATED AREAS IDENTIFIED WITH DASHED LINES ON THIS PLAT OF SUBDIVISION AND MARKED "EASEMENT FOR PUBLIC UTILITIES", "PUBLIC UTILITY, DRAINAGE AND LANDSCAPE EASEMENT" AND IN, UPON, UNDER, ALONG AND ACROSS.

AREAS DESIGNATED ON THIS PLAT OF SUBDIVISION FOR STREETS AND ALLEYS, TOGETHER WITH THE RIGHT TO INSTALL SERVICE CONNECTIONS IN, UPON, OVER, UNDER, ALONG AND ACROSS THE AREA OF EACH LOT OR PARCEL WITHIN THE SUBDIVISION TO SERVE IMPROVEMENTS THEREON, THE SAID EASEMENT PREMISES SHALL NOT IN ANY MANNER BE DISTURBED, DAMAGED, DESTROYED, INJURED, OBSTRUCTED OR PERMITTED TO BE OBSTRUCTED AT ANY TIME WHATSOEVER WITHOUT THE PRIOR WRITTEN CONSENT OF GRANTEEES AFTER INSTALLATIONS OF ANY SUCH FACILITY AND APPURTENANCE, THE GRADE OF THE SUBDIVISION SHALL NOT BE ALTERED IN A MANNER SO AS TO INTERFERE WITH THE PROPER OPERATION AND MAINTENANCE THEREOF, BUT THE SAME MAY BE USED FOR GARDENS, SHRUBS, LANDSCAPING AS SUCH OTHER PURPOSES THAT THEN AND LATER DO NOT UNREASONABLY INTERFERE WITH THE USES OR THE RIGHTS HEREIN GRANTED, NO RIGHTS OR INTERESTS IN THE SAID EASEMENT PREMISES INCONSISTENT WITH THE RIGHTS AND INTERESTS HEREIN GRANTED SHALL BE GRANTED TO ANY OTHER PERSONS AND ALL SUCH RIGHTS AND INTERESTS GRANTED TO OTHERS SHALL BE SUBJECT TO THE RIGHTS AND INTERESTS HEREIN GRANTED.

PROVIDED, HOWEVER, THAT NO GRANTEE SHALL MAKE ANY USE OF THE SAID EASEMENT PREMISES, CUT, TRIM OR REMOVE TREES, BUSHES AND ROOTS WITHIN THE SAID EASEMENT PREMISES, OR INSTALL ANY SERVICE CONNECTION WITHOUT THE PRIOR WRITTEN APPROVAL OF THE VILLAGE OF LIBERTYVILLE AND PROVIDED FURTHER THAT NO CHANGES OR AMENDMENTS TO THE EASEMENTS DESIGNATED HEREON SHALL BE MADE WITHOUT THE PRIOR WRITTEN CONSENT OF THE VILLAGE OF LIBERTYVILLE, ANY CONFLICT AMONG THE GRANTEEES IN THE EXERCISE OF THE RIGHTS HEREBY CRAFTED SHALL BE RESOLVED BY THE VILLAGE OF LIBERTYVILLE IN THE EXERCISE OF ITS DISCRETION. \*ANY ELECTRICAL AND COMMUNICATION PEDESTALS / JUNCTION BOXES INSTALLED IN THE FRONT YARD OF ALL PROPERTIES AND ALONG THE SIDE LOT LINES, SHALL BE OF AN ARMY-GREEN COLOR, AND SHALL BE SCREENED WITH VEGETATION THAT PROVIDES YEAR ROUND COVER.

BLANKET EASEMENT PROVISIONS  
AN EASEMENT FOR SERVING THE SUBDIVISION AND OTHER PROPERTY WITH ELECTRIC AND COMMUNICATION SERVICE IS HEREBY RESERVED FOR AND GRANTED TO

COMMONWEALTH EDISON COMPANY  
AND  
SBC TELEPHONE COMPANY, GRANTEEES,

THEIR RESPECTIVE LICENSEES, SUCCESSORS AND ASSIGNS JOINTLY AND SEVERALLY, TO CONSTRUCT, OPERATE, REPAIR, MAINTAIN, MODIFY, RECONSTRUCT, REPLACE, SUPPLEMENT, RELOCATE AND REMOVE, FROM TIME TO TIME, POLES, GUYS, ANCHORS, WIRES, CABLES, CONDUITS, MANHOLES, TRANSFORMERS, PEDESTALS, EQUIPMENT FACILITIES USED IN CONNECTION WITH OVERHEAD AND UNDERGROUND TRANSMISSION AND DISTRIBUTION OF ELECTRICITY, COMMUNICATIONS, SOUNDS AND SIGNALS IN, OVER, UNDER, ACROSS, ALONG AND UPON THE SURFACE OF THE PROPERTY SHOWN WITHIN THE DASHED OR DOTTED LINES (OR SIMILAR DESIGNATION) ON THE PLAT AND MARKED "BLANKET EASEMENT", "BULE" (OR SIMILAR DESIGNATION), THE PROPERTY DESIGNATED IN THE DECLARATION OF CONDOMINIUM AND/OR ON THIS PLAT AS "COMMON ELEMENTS" AND THE PROPERTY DESIGNATED ON THE PLAT AS "COMMON AREA OR AREAS", AND THE PROPERTY DESIGNATED ON THE PLAT FOR STREETS AND ALLEYS, WHETHER PUBLIC OR PRIVATE, TOGETHER WITH THE RIGHTS TO INSTALL REQUIRED SERVICE CONNECTIONS OVER OR UNDER THE SURFACE OF EACH LOT AND COMMON AREA OR AREAS TO SERVE IMPROVEMENTS THEREON, OR ON ADJACENT LOTS, AND COMMON AREA OR AREAS, THE RIGHT TO CUT, TRIM OR REMOVE TREES, BUSHES, ROOTS AND SAPLINGS AND TO CLEAR OBSTRUCTIONS FROM THE SURFACE AND SUBSURFACE AS MAY BE REASONABLY REQUIRED INCIDENT TO THE RIGHTS HEREIN GRANTED, AND THE RIGHT TO ENTER UPON THE SUBDIVIDED PROPERTY FOR ALL SUCH PURPOSES, OBSTRUCTIONS SHALL NOT BE PLACED OVER OR UNDER GRANTEEES' FACILITIES WITHOUT THE PRIOR WRITTEN CONSENT OF GRANTEEES AFTER INSTALLATION OF ANY SUCH FACILITIES. THE GRADE OF THE SUBDIVIDED PROPERTY SHALL NOT BE ALTERED IN A MANNER SO AS TO INTERFERE WITH THE PROPER OPERATION AND MAINTENANCE THEREOF.

THE TERM "COMMON ELEMENTS" SHALL HAVE THE MEANING SET FORTH FOR SUCH TERM IN THE "CONDOMINIUM PROPERTY ACT", CHAPTER 765 ILCS 805/2(C), AS AMENDED FROM TIME TO TIME.

THE TERM "COMMON AREA OR AREAS" IS DEFINED AS A LOT, PARCEL OR AREA OF REAL PROPERTY, THE BENEFICIAL USE OF WHICH IS RESERVED FOR THE USE OF WHOLE OR AS AN APPURTENANCE TO THE SEPARATELY OWNED LOTS, PARCELS OR AREAS WITHIN THE PLANNED DEVELOPMENT, EVEN THOUGH SUCH BE OTHERWISE DESIGNATED ON THE PLAT BY TERMS SUCH AS "OUTLOTS", "COMMON ELEMENTS", "OPEN SPACE", "OPEN AREA", "COMMON GROUND", "PARKING" AND "COMMON AREA". THE TERM "COMMON AREA OR AREAS", AND "COMMON ELEMENTS" INCLUDE REAL PROPERTY SURFACED WITH INTERIOR DRIVEWAYS AND WALKWAYS, BUT EXCLUDES REAL PROPERTY PHYSICALLY OCCUPIED BY A BUILDING, SERVICE BUSINESS DISTRICT OR STRUCTURES SUCH AS A POOL, RETENTION POND OR MECHANICAL EQUIPMENT.

RELOCATION OF FACILITIES WILL BE DONE BY GRANTEEES AT COST OF THE GRANTEE/LOT OWNER, UPON WRITTEN REQUEST.

FIELDWORK COMPLETED: 11-07-2024  
CLIENT NAME: Pearson Brown and Associates, Inc.  
ADDRESS: 1850 W. Winchester Road, Suite 205  
Libertyville, IL 60048

NOTES:  
PLAT IS VOID if the Impressed Surveyors Seal does not appear.  
Only those Building Lines or Easements shown on a Recorded Subdivision Plat or on a Recorded Document are shown hereon; check local ordinances before building.

Compare our description and site markings with this plat AT ONCE report any discrepancies which you may find.

R.E. ALLEN AND ASSOCIATES, LTD.

PROFESSIONAL LAND SURVEYORS  
1015 N. CORPORATE CIRCLE, SUITE C  
GRAYSLAKE, ILLINOIS 60030  
PHONE: 847-223-0914 FAX: 847-223-0980

# STORMWATER & FLOODPLAIN MANAGEMENT DESIGN REPORT

**MEYER SUBDIVISION**  
**245 WALNUT STREET, LIBERTYVILLE, ILLINOIS 60048**

**PREPARED FOR:**

Charles Meyer  
1700 Franklin Boulevard  
Libertyville, IL 60048

**JUNE 5, 2025**



1850 W. Winchester Road, Suite 205, Libertyville, Illinois 60048 | P: (847) 367-6707 | F: (847) 367-2567  
Email: [pba@pearsonbrown.com](mailto:pba@pearsonbrown.com) | Website: [www.pbacivil.com](http://www.pbacivil.com)

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### **EXHIBITS:**

- 1: Site Location
- 2: FEMA Flood Insurance Rate Map
- 3: USDA NRCS Soil Survey

### **APPENDICES:**

- Appendix 1: Detention Design Calculations
- Appendix 2: Floodplain Fill & Compensatory Storage Calculations
- Appendix 3: Storm Sewer Design Calculations
- Appendix 4: Stormwater Management System Maintenance Plan

## **INTRODUCTION**

Pearson, Brown and Associates (PBA) prepared this stormwater and floodplain management design analysis for the proposed 6-lot single-family Meyer Subdivision, located at 245 Walnut Street in Libertyville, Illinois. The stormwater management design calculations prepared in this report are in accordance with the Lake County Watershed Development Ordinance (WDO).

## **PROJECT UNDERSTANDING**

The subject property consists of approximately 16.62 acres located along the Des Plaines River north of Lake Minear, in Libertyville, Illinois as shown on Exhibit 1. The property owner intends to subdivide the property into 6 single-family residential lots having access from Walnut Street. The effective Federal Emergency Management Agency (FEMA) Flood Insurance Rate Map (FIRM) identifies a studied Zone AE onsite that is part of the Des Plaines River, as shown on Exhibit 2. Exhibit 3 identifies the Lake County soil survey boundaries on the 2022 aerial photography.

## **EXISTING CONDITIONS**

The property is currently used as a single-family farmstead, and generally sheet drains from west to east directly into the Des Plaines River. The majority of the eastern portion of the property is considered to be wetlands, as well as located within the FEMA SFHA for the Des Plaines River. Development is limited to the western portion of the property, and will preserve the existing wetlands.

## **DETENTION VOLUME DETERMINATION**

According to the Lake County WDO, this property is within the Des Plaines River watershed, and therefore has allowable site release rates equal 0.04 and 0.15 cfs/ac for the 2-year and 100-year storm events respectively. The stormwater detention requirements, for the development, are determined using Appendix K (Detention Volume vs. Curve Number Graph) of the WDO.

The total hydrologically disturbed area of 4.5 acres for the development, along with the proposed impervious area, are used to determine a composite runoff curve number. According to the 2005 Lake County Soil Survey Since all existing soil types within the development are classified as Hydrologic Soil Group C. For the purpose of calculating the detention requirements, all areas of the development being mass graded, must be bumped up to a Hydrologic Soil Group of D. The composite runoff curve number is used to determine the unit area detention volume factors of 0.14 ac-ft/ac and 0.45 ac-ft/ac for the 2 and 100-year storm events respectively. This brings the required storage to 0.63 ac-ft and 2.03 ac-ft for the 2 and 100-year storm events respectively.

There is 0.22 acres of offsite tributary area from the northwest that makes it into the proposed detention pond. According to Section 508.01 of the WDO, due to the offsite tributary area, a Detention Volume Safety Factor (DVSF) must be applied to the required detention volume, but due to the minor amount of offsite tributary

area, the DVSF of 1.00244 becomes negligible, and does not increase the required detention storage.

A Tributary Area Map, Detention design calculations, and supporting data for the Pond design can be found in Appendix 1.

## **POND OUTLET RESTRICTOR SIZING**

The proposed pond is within the Des Plaines River watershed, and should be designed to release at the allowable rates of 0.04 cfs/ac (2-year) and 0.15 cfs/ac (100-year). With a total onsite and offsite tributary area of 4.72 acres, the allowable release rates are 0.19 cfs (2-Year) and 0.71 cfs (100-Year).

A theoretical restrictor sizing worksheet is provided in Appendix 1 that shows a lower 1.97" and an upper 2.75" restrictor is required in order to meet the allowable site release rates.

Section 507.03 of the WDO recommends the use of a minimum 4-inch diameter restrictor to minimize the risk of clogging. A separate worksheet is provided in Appendix 1 that calculates release rates of 0.78 cfs (2-Year) and 1.2 cfs (100-Year) with the use of a single 4-inch restrictor. This exceeds both the 2 and 100-year allowable rates.

The Village of Libertyville has adopted Appendix P – Stormwater Management Regulations that identifies the minimum allowable restrictor diameter of 2-inches. Therefore, an additional restrictor sizing worksheet is provided in Appendix 1 to design an outlet control structure with restrictor's greater than or equal to 2-inch diameter. The worksheet identifies the use of a lower 2-inch and an upper 2-5/8 inch restrictor that release at 0.20 cfs (2-Year) and 0.68 cfs (100-Year). Although the 2-year release rate is slightly exceeded by 0.02 cfs, the 100-year release rate is not exceeded.

## **EMERGENCY SPILLWAY DESIGN**

An emergency spillway is provided for the proposed pond, that allows the pond to overflow east to the Des Plaines River. The spillway is designed to pass the 100-year unattenuated inflow with at least 1-foot of freeboard from the spillway high water to the top of berm, as required by the WDO. Emergency spillway design calculations can be found in Appendix 1.

## RUNOFF VOLUME REDUCTION HIERARCHY

The WDO requires that all development be designed in accordance with the Runoff Volume Reduction (RVR) Hierarchy listed in that section. The hierarchy has been applied to the design of the development as follows:

- *Preservation and enhancement of the stormwater management benefits of the natural resource features of the development site (e.g., areas of Hydrologic Soil Groups A and B, floodplains, Waters of the United States, Isolated Waters of Lake County, channels, drainageways, prairies, savannas, and woodlands);*  
Existing onsite wetlands are being preserved, and any impacts to the regulatory floodplain will be compensated at 120%.
- *Minimization or disconnection of impervious surfaces;*  
Impervious area is a function of the overlying community zoning. Runoff from the site generally sheet flows to the proposed native vegetated detention basin that will allow for more time to settle out solids and infiltrate stormwater runoff. The detention basin flows to a large onsite area being preserved prior to discharging in the downstream Des Plaines River.
- *Enhancement of the infiltration and storage characteristics of the development site using appropriate best management practices;*  
The proposed detention basin is designed with a lower section below the pond outlet, that will be planted in deep rooted native vegetation, that will allow stormwater runoff more opportunity to infiltrate.
- *The use of open channels with native vegetation to convey stormwater runoff;*  
The proposed pond will be planted in native vegetation, and will discharge to a large onsite area that will remain undisturbed.
- *Structural measures that provide water quality and volume reduction;*  
Other than the proposed pond, no additional structural measures are proposed.
- *Structural measures that provide only volume reduction or other rainwater harvesting practices;*  
No structural measures are proposed.
- *Measures that provide water quality and quantity control;*  
The detention basin is designed with a permanent pool that provides water quality by allowing stormwater time to settle out solids and capture pollutants.
- *Measures that provide only quantity control.*  
No measures, other than those mentioned above, are provided strictly for quantity control.

The Pond provides 1,500 cubic-feet of storage in the bottom 3-inches below the outlet elevation that is designed to infiltrate. With a total net new impervious area of 1.61 acres the total runoff volume reduction quantity per acres of net new impervious surface is 932 c.f./ac. Using Appendix O of the Lake County WDO the percent of annual rainfall events captured is determined to be 42%. In addition to the infiltration portion of the detention basin, a large portion of the existing property considered as wetlands is being preserved.

Net New Impervious	(ac)	1.61
Propovided Storage to Infiltrate	(c.f.)	1,500
RVR Quantity	(c.f./ac.)	932
Percent of Annual Rainfall Events	(%)	42
Infiltration Rate*	(in/hr)	0.20
Area to Infiltrate (Area of pond bottom)	(s.f.)	5,870
Basin Infiltration Rate	(c.f./hr)	97.83
Dewatering Time	(hrs)	15.33
* According to the USDA NRCS the existing Ozaukee, Markham & Varna silt loams have a steady infiltration rate of 0.20 to 0.40 in/hr.		

*Table 1. Steady infiltration rates for general soil texture groups in very deeply wetted soil. (Hillel, D. 1982. Introduction to soil physics. Academic Press, San Diego, CA)*

Soil Type	Steady Infiltration Rate (in/hr)
Sands	> 0.8
Loams	0.2 - 0.4
Clays	0.04 - 0.2

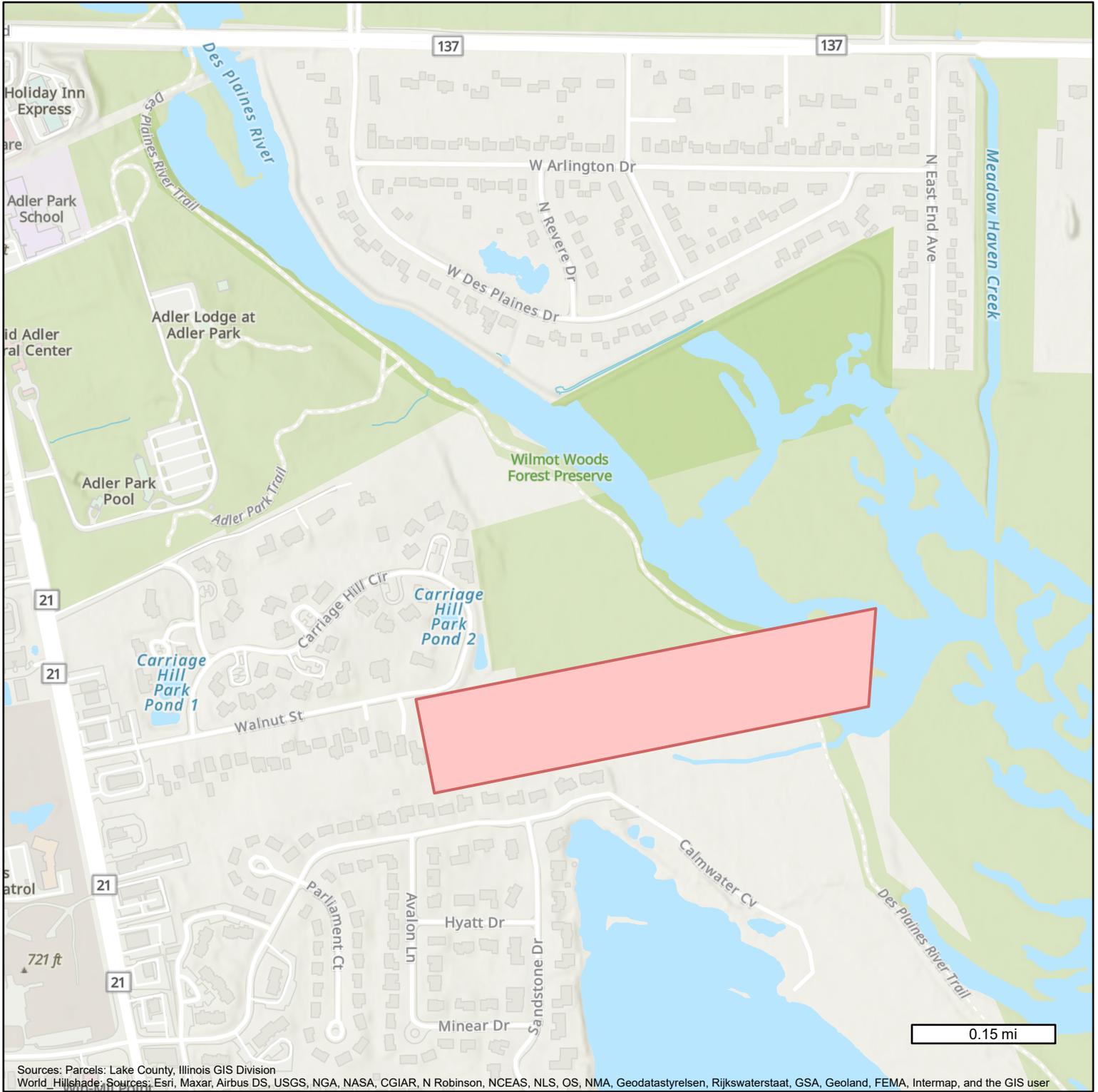
Percent of Annual Rainfall Events	100% impervious values	
	Runoff Depth (in)	RVR Quantity ft <sup>3</sup> /ac new impervious
0	0	0
5	0.02	70
10	0.05	180
15	0.09	320
20	0.12	450
25	0.16	590
30	0.19	690
35	0.22	800
40	0.24	870
45	0.28	1010
50	0.30	1110
55	0.35	1280
60	0.39	1420
65	0.45	1630
70	0.51	1870
75	0.60	2180
80	0.70	2560
85	0.81	2940
90	1.01	3660
95	1.35	4900
99	2.41	8760

## **WATER QUALITY**

The WDO requires that all development divert and detain at least the first 0.01 inches of runoff for every 1% of net new impervious surface for the development with a minimum volume equal to 0.2 inches of runoff. The pond bottom is designed to retain water in order to achieve the water quality requirement. The total net new impervious surface area of 1.61 acres requires 0.13 ac-ft of water quality volume, while the volume below the Pond Outlet provides 0.14 ac-ft of volume. Water quality storage calculations are provided in Appendix 1. In addition to the infiltration storage, the pond bottom and side slopes will be planted in native vegetation to filter out solids as well as capture pollutants.

## **FLOODPLAIN FILL AND COMPENSATORY STORAGE**

According to Section 704 of the WDO hydraulic equivalent compensatory storage is required for any impacts to the existing floodplain at a rate of 1.2 times the amount of floodplain lost or displaced. Due to grading activities, a small portion of the Des Plaines River floodplain will be filled, therefore the required amount of compensatory storage will be provided onsite. Detailed Floodplain fill and compensatory storage calculations are provided in Appendix 2.



 Lake County, Illinois

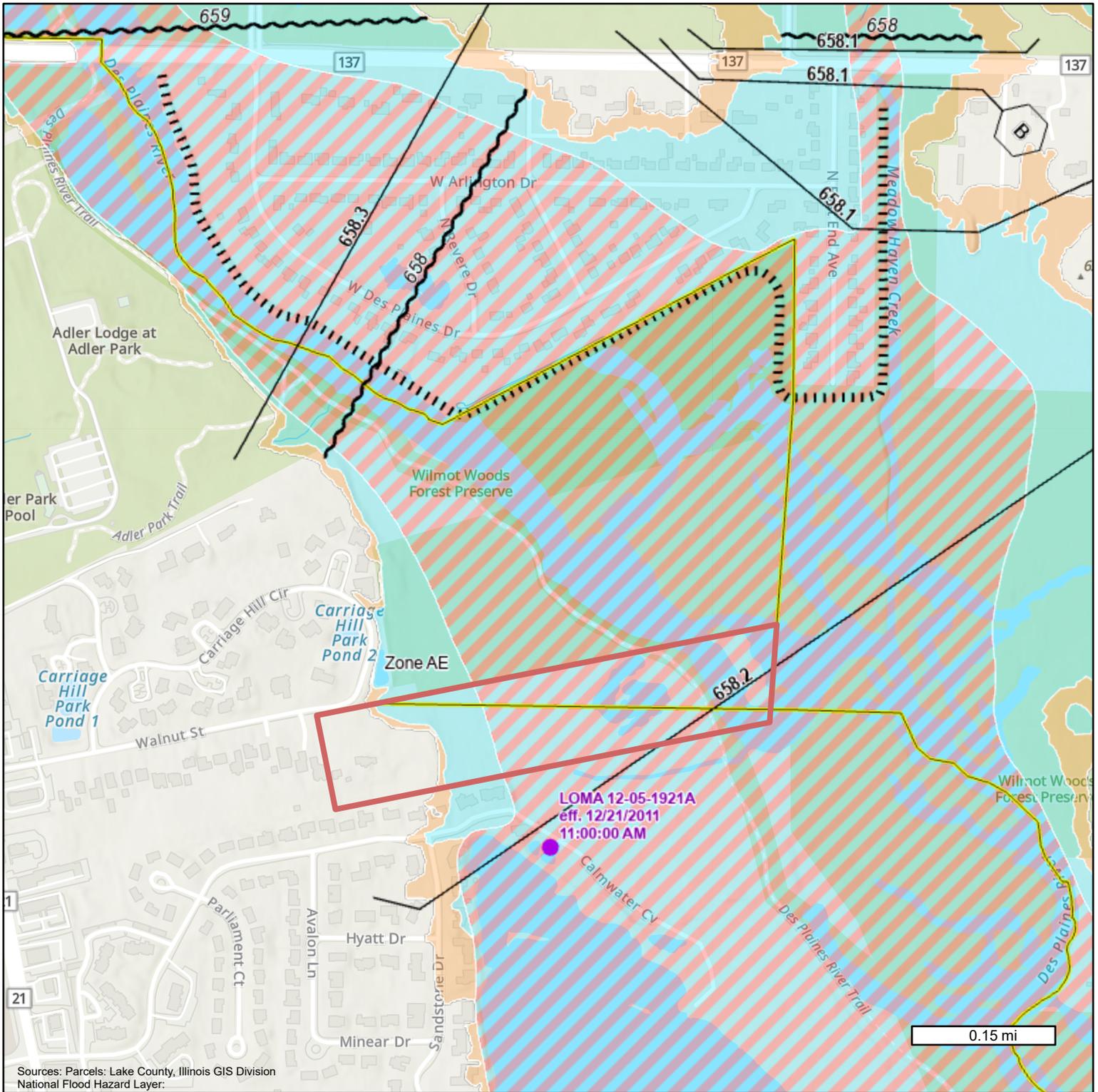
 **LakeCounty**

Map Printed on 5/30/2025

 N

 Override 1

**Disclaimer:** The selected feature may not occur anywhere in the current map extent. A Registered Land Surveyor should be consulted to determine the precise location of property boundaries on the ground. This map does not constitute a regulatory determination and is not a base for engineering design. This map is intended to be viewed and printed in color.





Map Printed on 5/30/2025



<p><b>Flood Hazard Zones</b></p> <ul style="list-style-type: none"> <li>1% Annual Chance Flood Hazard</li> <li>0.2% Annual Chance Flood Hazard</li> </ul>	<p><b>Flood Hazard Boundaries</b></p> <ul style="list-style-type: none"> <li>Limit Lines</li> </ul>	<p><b>General Structures</b></p> <ul style="list-style-type: none"> <li>Flood Structure</li> <li>Flood Structure</li> <li>Bridge</li> <li>Flood Structure</li> <li>Dam, Weir, Jetty</li> </ul>	<p><b>Other Structures</b></p> <ul style="list-style-type: none"> <li>Other Structures</li> <li>Dam, Weir, Jetty</li> <li>Levees</li> <li>Political Jurisdictions</li> <li>Base Flood Elevations</li> <li>Cross-Sections</li> </ul>	<p><b>LOMAs</b></p> <ul style="list-style-type: none"> <li>Effective</li> </ul>
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Sources: Soil: Lake County, Illinois GIS/Mapping Division  
 Parcels: Lake County, Illinois GIS Division



Lake County, Illinois



Map Printed on 5/30/2025



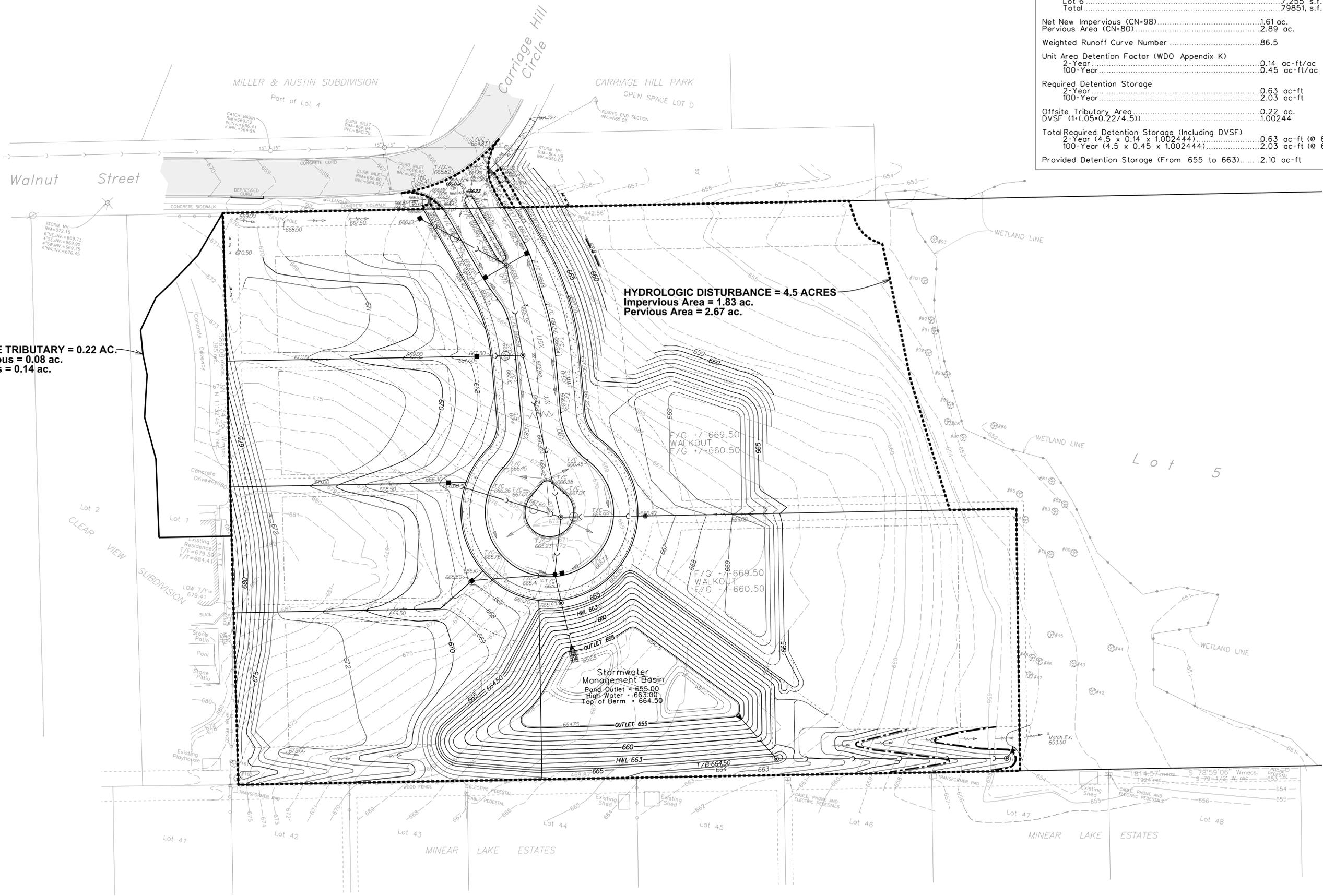
<p><b>Soils</b></p> <ul style="list-style-type: none"> <li>103A - Houghton muck</li> <li>1082A - Millington silt loam</li> <li>1103A - Houghton muck</li> <li>1107A - Sawmill silty clay loam</li> <li>1210A - Lena muck</li> <li>1330A - Peotone silty clay loam</li> <li>134A - Camden silt loam</li> <li>134B - Camden silt loam</li> <li>146A - Elliott silt loam</li> <li>146B - Elliott silt loam</li> <li>1529A - Selmass loam</li> <li>153A - Pella silty clay loam</li> <li>153A+ - Pella silt loam</li> <li>189A - Martinton silt loam</li> <li>189B - Martinton silt loam</li> <li>192A - Del Rey silt loam</li> <li>192B - Del Rey silt loam</li> <li>219A - Millbrook silt loam</li> <li>223B - Varna silt loam</li> <li>223C - Varna silt loam</li> <li>228A - Nappanee silt loam</li> <li>228B - Nappanee silt loam</li> <li>228B2 - Nappanee silty clay loam</li> <li>228C2 - Nappanee silty clay loam</li> <li>232A - Ashkum silty clay loam</li> <li>23A - Blount silt loam</li> <li>23B - Blount silt loam</li> <li>298A - Beecher silt loam</li> <li>298B - Beecher silt loam</li> <li>3107A - Sawmill silty clay loam</li> <li>318C2 - Lorenzo loam</li> <li>320A - Frankfort silt loam</li> <li>320B - Frankfort silt loam</li> <li>320B2 - Frankfort silty clay loam</li> <li>323B - Casco loam</li> <li>323C2 - Casco loam</li> <li>323D2 - Casco loam</li> <li>323D3 - Casco clay loam</li> <li>325A - Dresden silt loam</li> <li>325B - Dresden silt loam</li> <li>327A - Fox silt loam</li> <li>327B - Fox silt loam</li> <li>327C2 - Fox silt loam</li> <li>327D2 - Fox loam</li> <li>330A - Peotone silty clay loam</li> <li>365A - Aptakisic silt loam</li> <li>367 - Beach Sand</li> <li>370B - Saylesville silt loam</li> <li>370C2 - Saylesville silt loam</li> <li>4103A - Houghton muck</li> <li>442A - Mundelein silt loam</li> <li>442 - Mu</li> <li>443 - Bar</li> <li>443 - Bar</li> <li>465 - Mo</li> <li>477 - Mo</li> <li>488 - Mo</li> <li>513 - Mo</li> </ul>
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**APPENDIX 1**  
**DETENTION DESIGN CALCULATIONS**

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**DETENTION DESIGN SUMMARY**

Total Property Area	16.62 ac.
Hydrologic Disturbance	4.5 ac.
Existing Impervious Area	10,043 s.f. (0.23 ac.)
Proposed Impervious Area	
Roadway (including area offsite)	11,043 s.f.
Sidewalk (including area offsite)	3,288 s.f.
Driveway Aprons	1,380 s.f.
Lot 1	23,173 s.f.
Lot 2	12,165 s.f.
Lot 3	8,751 s.f.
Lot 4	6,039 s.f.
Lot 5	6,757 s.f.
Lot 6	7,255 s.f.
Total	79,851 s.f. (1.84 ac.)
Net New Impervious (CN-98)	1.61 ac.
Pervious Area (CN-80)	2.89 ac.
Weighted Runoff Curve Number	86.5
Unit Area Detention Factor (WDO Appendix K)	
2-Year	0.14 ac-ft/ac
100-Year	0.45 ac-ft/ac
Required Detention Storage	
2-Year	0.63 ac-ft
100-Year	2.03 ac-ft
Offsite Tributary Area	0.22 ac.
DVSF (1*(.05*0.22/4.5))	1.00244
Total Required Detention Storage (Including DVSF)	
2-Year (4.5 x 0.14 x 1.00244)	0.63 ac-ft (@ 658.33)
100-Year (4.5 x 0.45 x 1.00244)	2.03 ac-ft (@ 662.82)
Provided Detention Storage (From 655 to 663)	2.10 ac-ft

**NORTH**

SCALE: 1" = 30'

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**MEYER SUBDIVISION**  
245 WALNUT STREET, LIBERTYVILLE, ILLINOIS

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E-MAIL ADDRESS: pba@pearsonbrown.com

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DESIGNED BY: D.S.H.  
DRAWN BY: A.Z.  
CHECKED BY: A.K.Z.  
ORIGINAL ISSUE: 06/05/25

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DATE BY	DESCRIPTION

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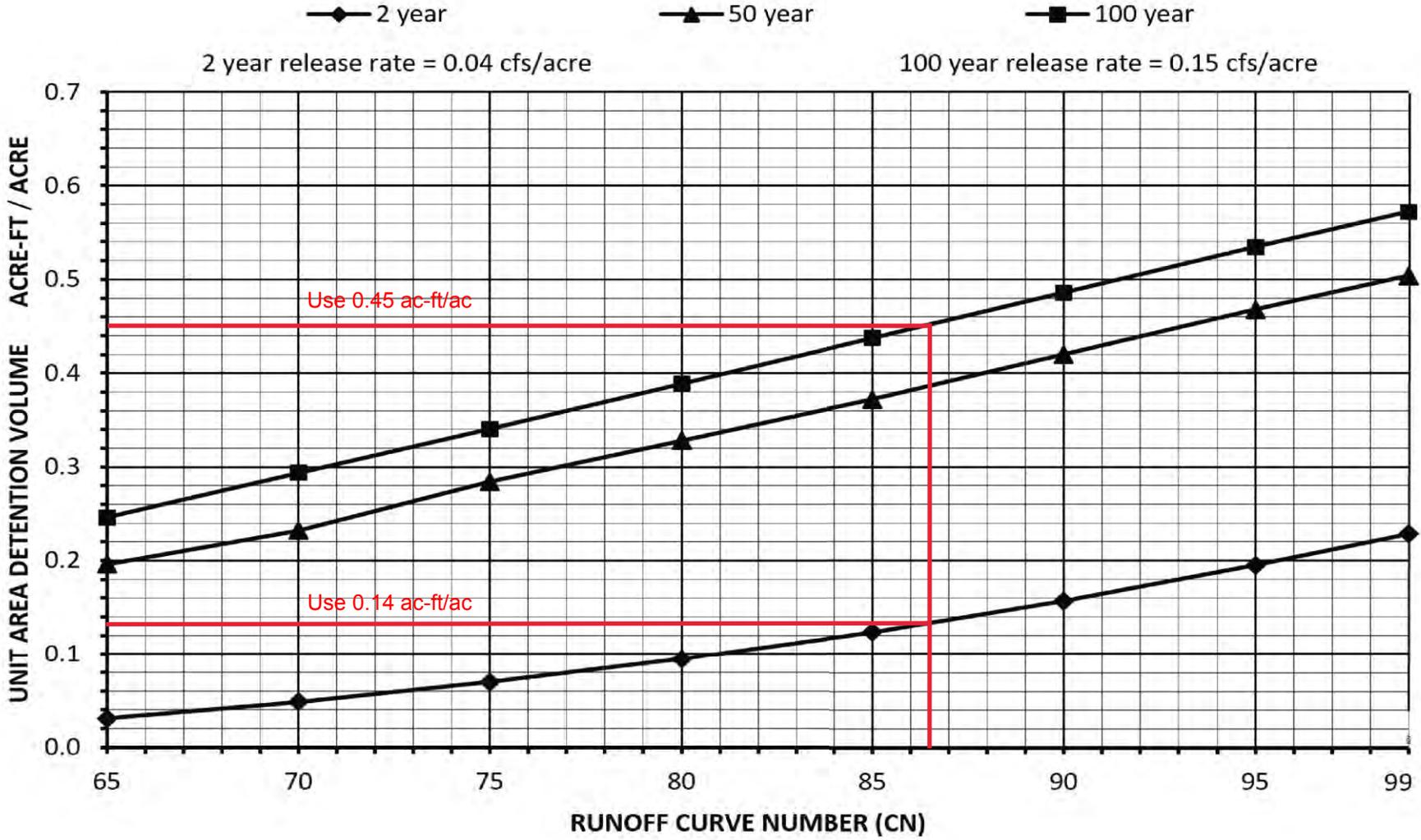
**REVISIONS**

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**TRIBUTARY AREA MAP**

EXHIBIT NUMBER  
**4**

JOB No. 2596



Appendix K: Detention Volume Versus Curve Number

### Pond Stage-Storage Rating

Elevation (ft)	Area (ft <sup>2</sup> )	Avg. Area (ft <sup>2</sup> )	ΔH (ft)	Incremental Volume (ft <sup>3</sup> )	Cumulative Volume (ft <sup>3</sup> )	Cumulative Volume (ac-ft)	Event
655.00	6,132						<b>Outlet</b>
		6,705	1.00	6,705			
656.00	7,278				6,705	0.15	
		7,895	1.00	7,895			
657.00	8,511				14,600	0.34	
		9,171	1.00	9,171			
658.00	9,830				23,770	0.55	
		10,533	1.00	10,533			
659.00	11,236				34,303	0.79	
		11,983	1.00	11,983			
660.00	12,729				46,286	1.06	
		13,519	1.00	13,519			
661.00	14,308				59,804	1.37	
		15,117	1.00	15,117			
662.00	15,926				74,921	1.72	
		16,767	1.00	16,767			
663.00	17,607				91,688	2.10	<b>HWL</b>
		18,481	1.00	18,481			
664.00	19,354				110,168	2.53	
		19,803	0.50	9,902			
664.50	20,252				120,070	2.76	<b>T/Berm</b>

### Water Quality Volume Below Normal Water Level

655.00	6,132						<b>Outlet</b>
		6,001	0.25	1,500			
654.75	5,870				1,500	0.03	
		4,553	0.00	0			
654.75	3,236				1,500	0.03	
		2,837	0.75	2,128			
654.00	2,438				3,628	0.08	
		1,957	1.00	1,957			
653.00	1,475				5,585	0.13	
		1,310	0.50	655			
652.50	1,144				6,239	0.14	<b>Bottom</b>

## Pond Outlet Design - Theoretical Restrictor Design

### Allowable Release Rate Calculation

#### Pond Data

Tributary Area	4.72	AC
NWL/Outlet	655.00	FT
2-YR HWL	658.40	FT
100-YR HWL	662.82	FT
Emergency Overflow Elevation	663.00	FT

<u>2-Yr</u>			<u>100-YR</u>		
<b>Allowed Release Rate:</b>	0.04	CFS/AC	<b>Allowed Release Rate:</b>	0.15	CFS/AC
<b>Q<sub>2-YR</sub> Allowable =</b>	0.19	CFS	<b>Q<sub>100-YR</sub> Allowable =</b>	0.71	CFS

#### Lower - Restrictor

$$Q_{2-YR} = CA(2gH)^{1/2}$$

C = 0.61  
g = 32.22

Outlet Elev = 654.80 FT  
Diameter = 1.97 IN  
Area = 0.0212 FT<sup>2</sup>

#### Upper - Restrictor

$$Q_{2-YR} = CA(2gH)^{1/2}$$

C = 0.61  
g = 32.22

Outlet Elev = 658.50 FT  
Diameter = 2.75 IN  
Area = 0.0412 FT<sup>2</sup>

#### Overflow Weir

$$Q_{Weir} = CLH^{3/2}$$

C = 3.0

Weir Elev = 663.00 FT  
Weir Length = 30.0 FT

### Outlet Stage-Discharge Rating

Elevation (FT)	H <sub>Lower</sub> (FT)	Q <sub>Lower</sub> (CFS)	H <sub>Upper</sub> (FT)	Q <sub>Upper</sub> (CFS)	H <sub>Weir</sub> (FT)	Q <sub>Weir</sub> (CFS)	Q <sub>Total</sub> (CFS)
655.00	0.00	0.00					0.00
655.50	0.62	0.08					0.08
656.00	1.12	0.11					0.11
656.50	1.62	0.13					0.13
657.00	2.12	0.15					0.15
657.50	2.62	0.17					0.17
658.00	3.12	0.18					0.18
658.33	3.45	0.19					0.19
658.50	3.62	0.20					0.20
659.00	4.12	0.21	0.39	0.13			0.34
659.50	4.62	0.22	0.89	0.19			0.41
660.00	5.12	0.23	1.39	0.24			0.47
660.50	5.62	0.25	1.89	0.28			0.52
661.00	6.12	0.26	2.39	0.31			0.57
661.50	6.62	0.27	2.89	0.34			0.61
662.00	7.12	0.28	3.39	0.37			0.65
662.50	7.62	0.29	3.89	0.40			0.68
662.82	7.94	0.29	4.21	0.41			0.71
663.00	8.12	0.30	4.39	0.42			0.72

## Pond Outlet Design - 4-Inch Minimum Restrictor

### Allowable Release Rate Calculation

#### Pond Data

Tributary Area	4.72	AC
NWL/Outlet	655.00	FT
2-YR HWL	658.33	FT
100-YR HWL	662.82	FT
Emergency Overflow Elevation	663.00	FT

<u>2-Yr</u>			<u>100-YR</u>		
<b>Allowed Release Rate:</b>	0.04	CFS/AC	<b>Allowed Release Rate:</b>	0.15	CFS/AC
<b>Q<sub>2-YR</sub> Allowable =</b>	0.19	CFS	<b>Q<sub>100-YR</sub> Allowable =</b>	0.71	CFS

#### Lower - Restrictor

$$Q_{2-YR} = CA(2gH)^{1/2}$$

C =	0.61	
g =	32.22	
Outlet Elev =	654.80	FT
Diameter =	4.00	IN
Area =	0.0873	FT <sup>2</sup>

#### Upper - Restrictor

$$Q_{2-YR} = CA(2gH)^{1/2}$$

C =	0.61	
g =	32.22	
Outlet Elev =	658.50	FT
Diameter =	0.000	IN (2-5/8")
Area =	0.0000	FT <sup>2</sup>

#### Overflow Weir

$$Q_{Weir} = CLH^{3/2}$$

C =	3.0	
Weir Elev =	663.00	FT
Weir Length =	30.0	FT

### Outlet Stage-Discharge Rating

Elevation (FT)	H <sub>Lower</sub> (FT)	Q <sub>Lower</sub> (CFS)	H <sub>Upper</sub> (FT)	Q <sub>Upper</sub> (CFS)	H <sub>Weir</sub> (FT)	Q <sub>Weir</sub> (CFS)	Q <sub>Total</sub> (CFS)
655.00	0.00	0.00					0.00
655.50	0.53	0.31					0.31
656.00	1.03	0.43					0.43
656.50	1.53	0.53					0.53
657.00	2.03	0.61					0.61
657.50	2.53	0.68					0.68
658.00	3.03	0.74					0.74
658.33	3.36	0.78					0.78
658.50	3.53	0.80					0.80
659.00	4.03	0.86	0.50	0.00			0.86
659.50	4.53	0.91	1.00	0.00			0.91
660.00	5.03	0.96	1.50	0.00			0.96
660.50	5.53	1.01	2.00	0.00			1.01
661.00	6.03	1.05	2.50	0.00			1.05
661.50	6.53	1.09	3.00	0.00			1.09
662.00	7.03	1.13	3.50	0.00			1.13
662.50	7.53	1.17	4.00	0.00			1.17
662.82	7.85	1.20	4.32	0.00			1.20
663.00	8.03	1.21	4.50	0.00			1.21

## Pond Outlet Design - 2-Inch Minimum Restrictor

### Allowable Release Rate Calculation

#### Pond Data

Tributary Area	4.72	AC
NWL/Outlet	655.00	FT
2-YR HWL	658.33	FT
100-YR HWL	662.82	FT
Emergency Overflow Elevation	663.00	FT

<u>2-Yr</u>			<u>100-YR</u>		
<b>Allowed Release Rate:</b>	0.04	CFS/AC	<b>Allowed Release Rate:</b>	0.15	CFS/AC
<b>Q<sub>2-YR</sub> Allowable =</b>	0.19	CFS	<b>Q<sub>100-YR</sub> Allowable =</b>	0.71	CFS

#### Lower - Restrictor

$$Q_{2-YR} = CA(2gH)^{1/2}$$

C = 0.61  
g = 32.22

Outlet Elev = 654.80 FT  
Diameter = 2.00 IN  
Area = 0.0218 FT<sup>2</sup>

#### Upper - Restrictor

$$Q_{2-YR} = CA(2gH)^{1/2}$$

C = 0.61  
g = 32.22

Outlet Elev = 658.50 FT  
Diameter = 2.625 IN (2-5/8")  
Area = 0.0376 FT<sup>2</sup>

#### Overflow Weir

$$Q_{Weir} = CLH^{3/2}$$

C = 3.0

Weir Elev = 663.00 FT  
Weir Length = 30.0 FT

### Outlet Stage-Discharge Rating

Elevation (FT)	H <sub>Lower</sub> (FT)	Q <sub>Lower</sub> (CFS)	H <sub>Upper</sub> (FT)	Q <sub>Upper</sub> (CFS)	H <sub>Weir</sub> (FT)	Q <sub>Weir</sub> (CFS)	Q <sub>Total</sub> (CFS)
655.00	0.00	0.00					0.00
655.50	0.62	0.08					0.08
656.00	1.12	0.11					0.11
656.50	1.62	0.14					0.14
657.00	2.12	0.16					0.16
657.50	2.62	0.17					0.17
658.00	3.12	0.19					0.19
658.33	3.45	0.20					0.20
658.50	3.62	0.20					0.20
659.00	4.12	0.22	0.39	0.12			0.33
659.50	4.62	0.23	0.89	0.17			0.40
660.00	5.12	0.24	1.39	0.22			0.46
660.50	5.62	0.25	1.89	0.25			0.51
661.00	6.12	0.26	2.39	0.28			0.55
661.50	6.62	0.27	2.89	0.31			0.59
662.00	7.12	0.28	3.39	0.34			0.62
662.50	7.62	0.29	3.89	0.36			0.66
662.82	7.94	0.30	4.21	0.38			0.68
663.00	8.12	0.30	4.39	0.39			0.69

## EMERGENCY SPILLWAY DESIGN - POND

Weir sized to pass the peak unattenuated inflow to the detention basin

$Q_{100}$  = Peak unattenuated pond inflow

$Q_{100} = CIA$  (Rational Formula)

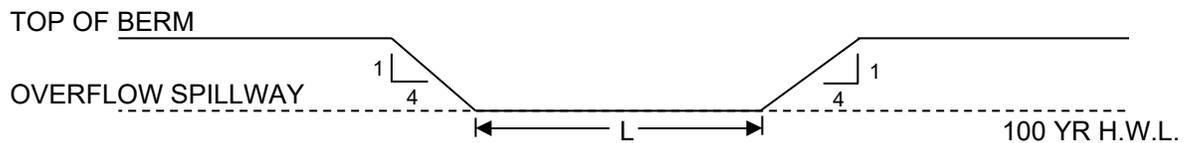
C-Factor = 0.59 (1.91 ac impervious at 0.95 & 2.81 ac pervious at 0.35)

$T_c$  = 10 min (from Storm Sewer Design Calculations)

Intensity (100-yr) = 10.80 in/hr

Area = 4.72 acres

$$Q_{100} = 30.08 \text{ CFS}$$



### USE WEIR FORMULA

$$Q = CLH^{3/2} \quad \text{Flow in outer triangular areas is ignored.}$$

KNOWNNS

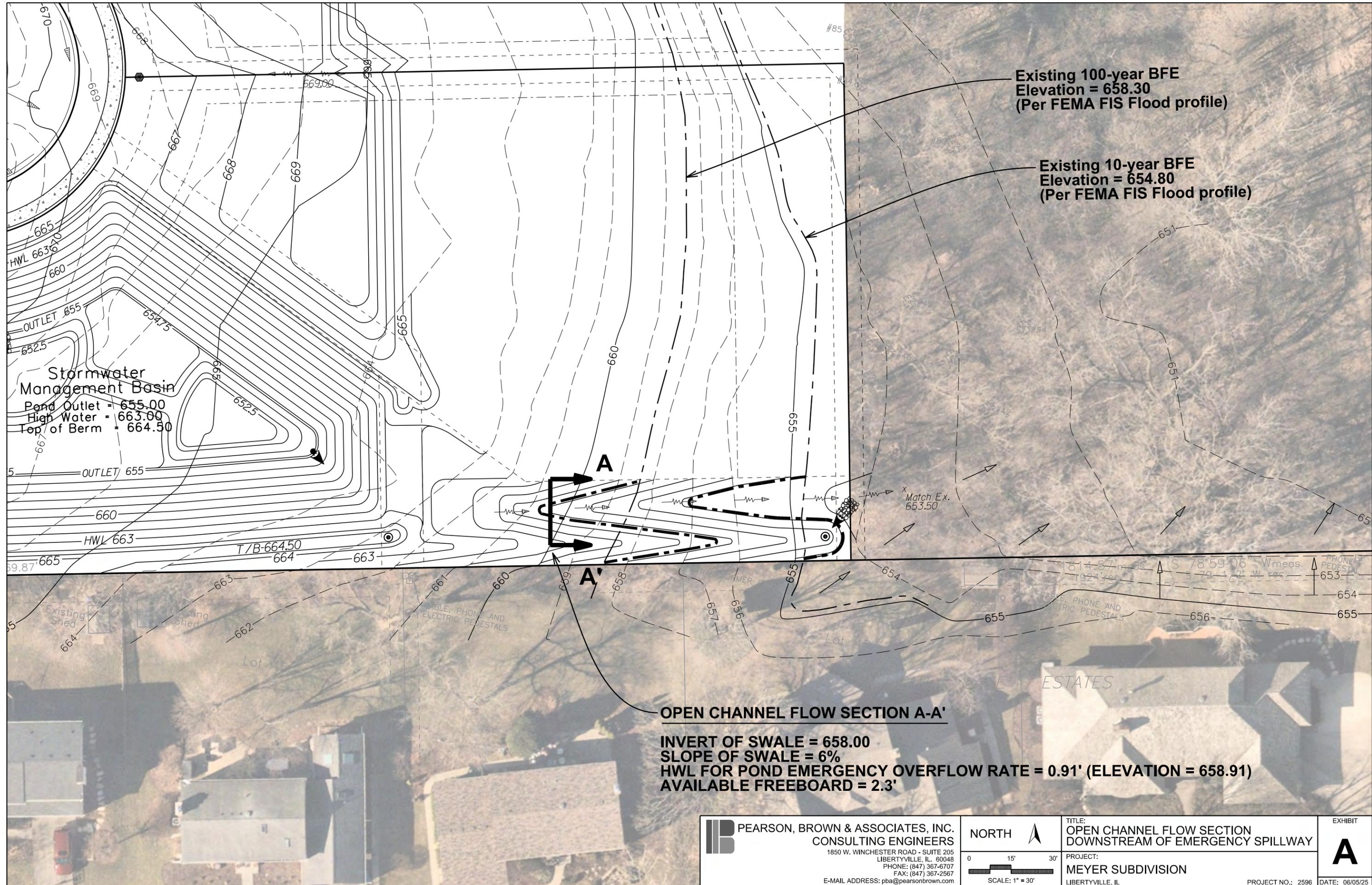
$$Q = 30.08 \text{ CFS}$$

$$H = 0.5 \text{ FT}$$

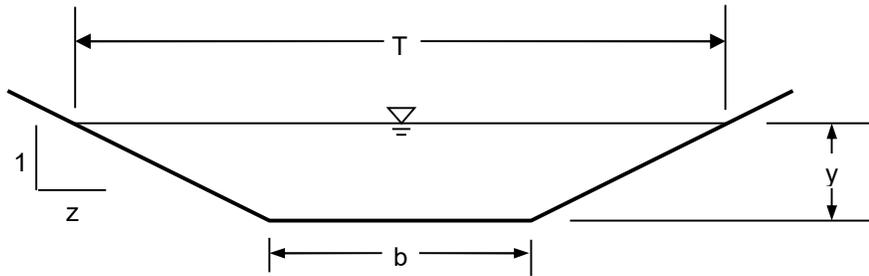
$$C = 3.0$$

Solve  $L = 28 \text{ FT}$

Use  $L = 30 \text{ FT}$  (Velocity = 2.0 ft/sec)



**Provided Flow Capacity Of Ditch Section A - A' Downstream of Pond Emergency  
Spillway (Using Manning's Equation)**



**Manning's equation:  $Q = (1.49/n)AR^{2/3}S^{1/2}$  cfs**

<b>y =</b>	0.91 ft	Depth of flow in channel
<b>b =</b>	2.00 ft	Bottom width of channel
<b>z =</b>	3.00 ft	Side slope ratio
<b>S =</b>	0.0600	Longitudinal slope of channel
<b>n =</b>	0.035	Roughness coefficient
<b>A =</b>	4.30 ft <sup>2</sup>	Area of flow
<b>P =</b>	7.76 ft	Wetted perimeter
<b>R =</b>	0.56 ft	Hydraulic radius
<b>T =</b>	7.46 ft	Top width of water surface
<b>Q =</b>	30.31 cfs	Provided flow capacity
<b>Q =</b>	30.08 cfs	Required flow capacity (Taken From Emergency Spillway Design)

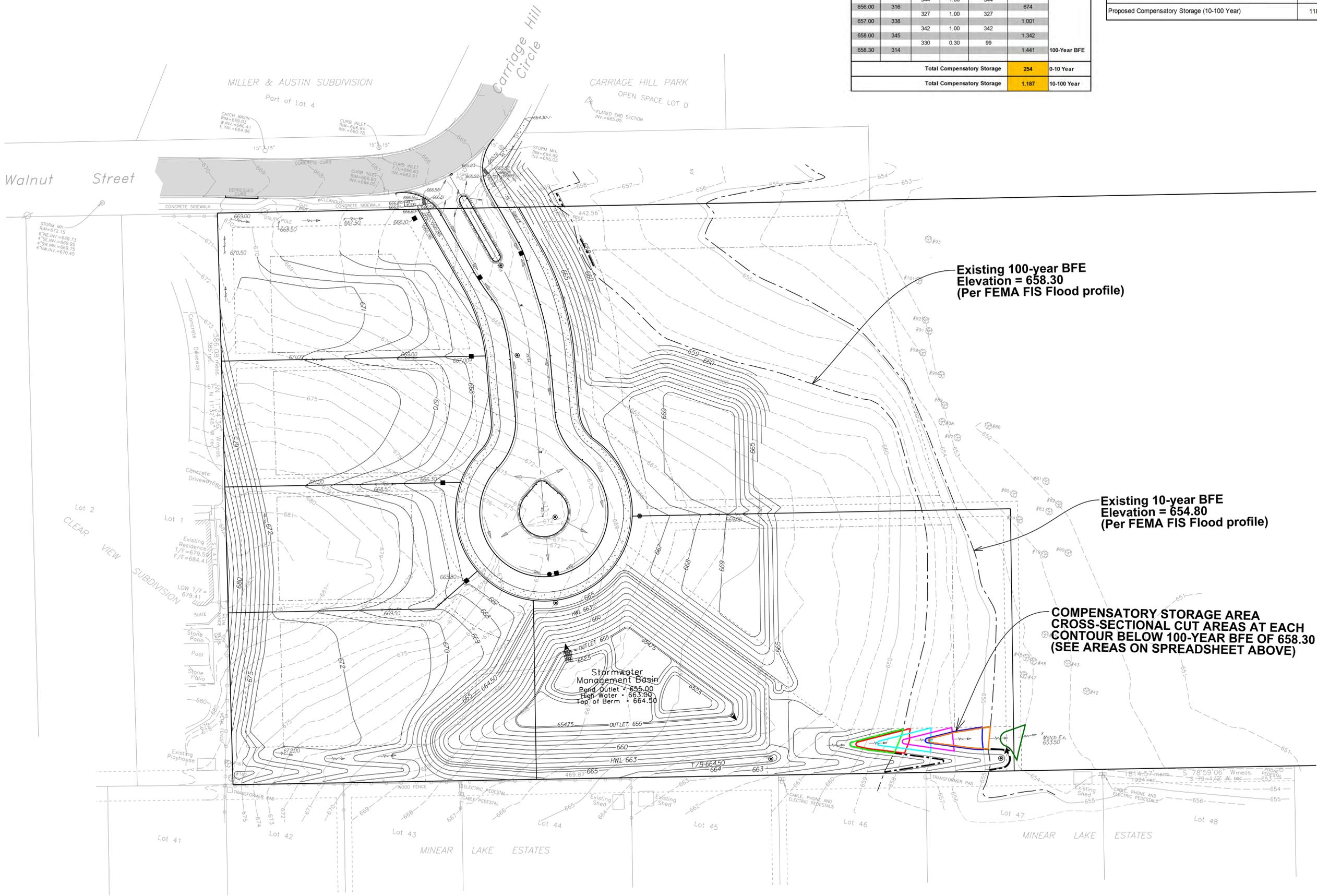
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## **APPENDIX 2**

### **FLOODPLAIN FILL & COMPENSATORY STORAGE CALCULATIONS**

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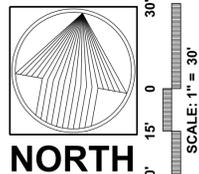
Compensatory Storage Calculations						
Elevation (ft)	Area (ft <sup>2</sup> )	Avg. Area (ft <sup>2</sup> )	ΔH (ft)	Incremental Volume (ft <sup>3</sup> )	Cumulative Volume (ft <sup>3</sup> )	Event
653.80	0	98	0.20	20	0	10-Year BFE
654.00	196	293	0.80	234	20	
654.80	389	381	0.20	76	254	
655.00	372	344	1.00	344	330	
656.00	316	327	1.00	327	674	
657.00	338	342	1.00	342	1,001	
658.00	345	330	0.30	99	1,342	100-Year BFE
658.30	314				1,441	
Total Compensatory Storage					254	0-10 Year
Total Compensatory Storage					1,187	10-100 Year

Floodplain Fill & Compensatory Storage Summary	
Total Floodplain Fill Volume (0-10 Year)	67 c.f.
Required Compensatory Storage (0-10 Year)	80 c.f.
Proposed Compensatory Storage (0-10 Year)	254 c.f.
Total Floodplain Fill Volume (10-100 Year)	910 c.f.
Required Compensatory Storage (10-100 Year)	1,092 c.f.
Proposed Compensatory Storage (10-100 Year)	1187 c.f.

Existing 100-year BFE  
Elevation = 658.30  
(Per FEMA FIS Flood profile)

Existing 10-year BFE  
Elevation = 654.80  
(Per FEMA FIS Flood profile)

COMPENSATORY STORAGE AREA  
CROSS-SECTIONAL CUT AREAS AT EACH  
CONTOUR BELOW 100-YEAR BFE OF 658.30  
(SEE AREAS ON SPREADSHEET ABOVE)



**MEYER SUBDIVISION**  
245 WALNUT STREET, LIBERTYVILLE, ILLINOIS

**PEARSON, BROWN & ASSOCIATES, INC.**  
CONSULTING ENGINEERS  
1850 W. WINCHESTER ROAD - SUITE 205  
LIBERTYVILLE, IL 60089  
PHONE: (631) 387-2557  
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DESIGNED BY: D.S.H.  
DRAWN BY: A.Z.  
CHECKED BY: A.K.Z.  
ORIGINAL ISSUE: 06/05/25

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DESCRIPTION

DATE BY

REVISIONS

COMPENSATORY STORAGE

EXHIBIT NUMBER

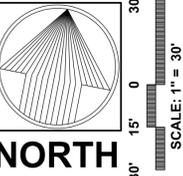
6

JOB No. 2596

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**APPENDIX 3**  
**STORM SEWER DESIGN CALCULATIONS**

---



**MEYER SUBDIVISION**  
 245 WALNUT STREET, LIBERTYVILLE, ILLINOIS

**PEARSON, BROWN & ASSOCIATES, INC.**  
 CONSULTING ENGINEERS  
 1850 W. WINCHESTER ROAD - SUITE 205  
 LIBERTYVILLE, IL. 60088  
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 E-MAIL ADDRESS: pba@pearsonbrown.com

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DESIGNED BY: G.A.Z.  
 DRAWN BY: A.Z.  
 CHECKED BY: A.K.Z.  
 ORIGINAL ISSUE: 06/05/25

DATE BY	DESCRIPTION

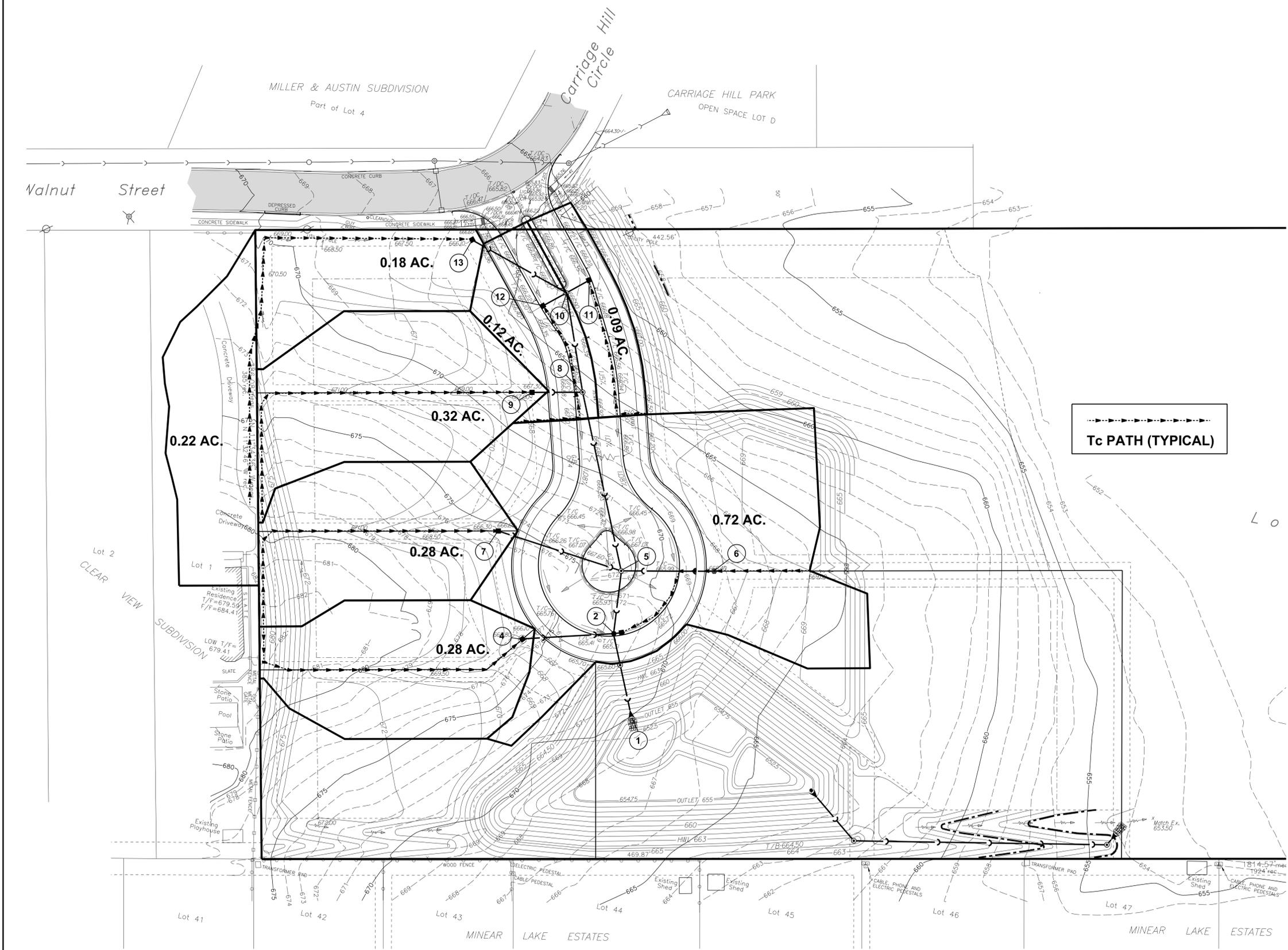
**REVISIONS**

DATE BY	DESCRIPTION

STORM SEWER TRIBUTARY AREA MAP

SHEET NUMBER  
**1**  
 OF 1 SHEETS

JOB No. 2596



100 YEAR STORM SEWER DESIGN CALCULATIONS

Pearson, Brown & Associates Inc.  
Libertyville, IL 60048

Job #: 2596  
Prepared by: DSH  
Date: 06/05/2025

From	To	Individual Sub-area Pickup (ac.)	Area Total (ac.)	Individual Sub-area Runoff Factor	C*A Multiple	Sum of C*A to segment	Wiegthed C-factor (sum of C*A div. by area total)	Time of Concentration Inlet	Channel	Total	Intensity (in./hr.)	Q=CIA Flow (cfs)	Diameter (in.)	Minimum Required Slope (ft./ft.)	PLAN Design Slope (ft./ft.)	Capacity (cfs)	Velocity (ft/sec)
13	10	0.40	0.40	0.62	0.25	0.25	0.62	10	0	10	10.80	2.68	12	0.0057	0.0060	2.77	3.52
12	10	0.12	0.12	0.71	0.09	0.09	0.71	7	0	7	11.47	0.98	12	0.0008	0.0045	2.40	3.05
11	10	0.09	0.09	0.75	0.07	0.07	0.75	9	0	9	10.97	0.74	12	0.0004	0.0045	2.40	3.05
10	8	0.00	0.61	0.00	0.00	0.40	0.66	10	0	10	10.80	4.33	15	0.0045	0.0045	4.35	3.54
9	8	0.32	0.32	0.65	0.21	0.21	0.65	9	0	9	10.97	2.28	12	0.0041	0.0250	5.65	7.19
8	5	0.00	0.93	0.00	0.00	0.61	0.65	10	1	11	10.37	6.31	18	0.0036	0.0040	6.66	3.77
7	5	0.28	0.28	0.65	0.18	0.18	0.65	8	0	8	11.19	2.04	12	0.0033	0.0050	2.53	3.22
5	2	0.00	1.21	0.00	0.00	0.79	0.65	11	0	11	10.37	8.20	18	0.0061	0.0180	14.13	8.00
4	2	0.28	0.28	0.65	0.18	0.18	0.65	7	0	7	11.47	2.09	12	0.0034	0.0100	3.57	4.55
2	1	0.72	2.21	0.71	0.51	1.48	0.67	11	0	11	10.37	15.39	18	0.0215	0.0220	15.62	8.84

**INDIVIDUAL SUB-AREA RUNOFF FACTOR DETERMINATION**

Date: 6/5/2025

Area		Acres	Factor	Multiple
<b>To Structure #2</b>	<b>total area</b>	<b>0.72</b>		
Grassy		0.29	<b>0.35</b>	0.1015
Impervious		0.43	<b>0.95</b>	0.4085
Total		0.72		0.5100
<b>Sub area c-factor</b>				<b>0.71</b>

Area		Acres	Factor	Multiple
<b>To Structure #9</b>	<b>total area</b>	<b>0.32</b>		
Grassy		0.16	<b>0.35</b>	0.0560
Impervious		0.16	<b>0.95</b>	0.1520
Total		0.32		0.2080
<b>Sub area c-factor</b>				<b>0.65</b>

Area		Acres	Factor	Multiple
<b>To Structure #4</b>	<b>total area</b>	<b>0.28</b>		
Grassy		0.14	<b>0.35</b>	0.0490
Impervious		0.14	<b>0.95</b>	0.1330
Total		0.28		0.1820
<b>Sub area c-factor</b>				<b>0.65</b>

Area		Acres	Factor	Multiple
<b>To Structure #13</b>	<b>total area</b>	<b>0.40</b>		
Grassy		0.22	<b>0.35</b>	0.0770
Impervious		0.18	<b>0.95</b>	0.1710
Total		0.40		0.2480
<b>Sub area c-factor</b>				<b>0.62</b>

Area		Acres	Factor	Multiple
<b>To Structure #7</b>	<b>total area</b>	<b>0.28</b>		
Grassy		0.14	<b>0.35</b>	0.0490
Impervious		0.14	<b>0.95</b>	0.1330
Total		0.28		0.1820
<b>Sub area c-factor</b>				<b>0.65</b>

Area		Acres	Factor	Multiple
<b>To Structure #12</b>	<b>total area</b>	<b>0.12</b>		
Grassy		0.05	<b>0.35</b>	0.0162
Impervious		0.07	<b>0.95</b>	0.0665
Total		0.12		0.0827
<b>Sub area c-factor</b>				<b>0.71</b>

Area		Acres	Factor	Multiple
<b>To Structure #11</b>	<b>total area</b>	<b>0.09</b>		
Grassy		0.03	<b>0.35</b>	0.0105
Impervious		0.06	<b>0.95</b>	0.0570
Total		0.09		0.0675
<b>Sub area c-factor</b>				<b>0.75</b>

**Time of Concentration Calculations**

Pearson, Brown & Associates Inc.  
Libertyville, IL 60048

sheet flow roughness coeffs - paved = 0.011, grassy = 0.240  
maximum sheet flow segment length = 100'

Job #: 2596  
Prepared by: DSH  
Date: 6/5/2025

**Surface Flow Time Calculations - SCS Methods...2yr, 24hr rainfall depth = 3.34" [LAKE CO.] (Used for SCS flow time eqn...)**

FLOW TO STRUCTURE	FLOW TYPE	DESCRIPTION	COEF. n	LENGTH L	SLOPE s	SHALLOW CONCENTRATED VELOCITY (FT/SEC)	TIME	TIME	TIME USED
							hours	min	min
2	Sheet Flow	grassy	0.240	80	0.0375	2.113	0.15	9	
	Shallow Concentrated	paved	N/A	55	0.0108		0.01	0	
						total	0.16	10	10
4	Sheet Flow	grassy	0.240	100	0.1200	3.384	0.11	7	
	Shallow Concentrated	unpaved	N/A	90	0.0440		0.01	0	
						total	0.12	7	7
7	Sheet Flow	grassy	0.240	100	0.1080	3.498	0.12	7	
	Shallow Concentrated	unpaved	N/A	100	0.0470		0.01	0	
						total	0.13	8	8
9	Sheet Flow	grassy	0.240	100	0.0760	2.795	0.14	8	
	Shallow Concentrated	unpaved	N/A	140	0.0300		0.01	1	
						total	0.15	9	9
11	Sheet Flow	grassy	0.240	15	0.0200	2.033	0.05	3	
	Shallow Concentrated	paved	N/A	85	0.0100		0.01	1	
						total	0.06	9	9
12	Sheet Flow	grassy	0.240	35	0.0200	2.033	0.10	6	
	Shallow Concentrated	paved	N/A	75	0.0100		0.01	1	
						total	0.11	7	7
13	Sheet Flow	grassy	0.240	100	0.0650	2.864	0.15	9	
	Shallow Concentrated	unpaved	N/A	190	0.0315		0.02	1	
						total	0.16	10	10

STORM SEWER INLET CAPACITY CALCULATIONS - VALLEY LOCATIONS

**MEYER SUBDIVISION**

Pearson, Brown & Associates Inc.  
Libertyville, IL 60048

Job # 2596  
Prepared by: DSH  
Date: 06/05/2025

"CURB" VALLEY LOCATIONS: NEENAH R-3278-A, [1.20 S.F. OPEN AREA] \*\* weir length = 4.6 feet

"YARD" VALLEY LOCATIONS: NEENAH R-4340-B [1.10 S.F. OPEN AREA] \*\* weir length = 6 feet

Flow to Structure #	Individual Sub-area Pickup (ac.)	Individual Sub-area Runoff Factor	Time of Concentration Inlet Time Only	Intensity (in./hr.)	DIRECT FLOW Q=CIA Flow (cfs)	UPSTREAM FLOW (cfs)	TOTAL REQUIRED FLOW (cfs)	LOCATION "CURB", OR "YARD"	Q=CLH^(3/2)					
									WEIR COEF. C	WEIR PERIMETER (lf) "L"	HEAD ON GRATE "H" (ft)	SINGLE STRUCTURE INLET CAPACITY (cfs)	# OF STRUCTURES	TOTAL INLET CAPACITY (cfs)
13	0.40	0.62	10	10.80	2.68	0.00	2.68	YARD	3.30	4.60	0.32	2.75	1	2.75
12	0.12	0.71	7	11.47	0.98	0.00	0.98	CURB	3.30	4.60	0.17	1.06	1	1.06
11	0.09	0.75	9	10.97	0.74	0.00	0.74	CURB	3.30	4.60	0.14	0.80	1	0.80
9	0.32	0.65	9	10.97	2.28	0.00	2.28	YARD	3.30	4.60	0.29	2.37	1	2.37
7	0.28	0.65	8	11.19	2.04	0.00	2.04	YARD	3.30	6.00	0.22	2.04	1	2.04
4	0.28	0.65	7	11.47	2.09	0.00	2.09	YARD	3.30	4.60	0.27	2.13	1	2.13
2	0.72	0.71	10	10.80	5.52	0.00	5.52	CURB	3.30	4.60	0.33	2.88	2	5.76

Due to Depth on Grates for #2 and # 13, also analyze these structures under orifice flow...

Flow to Structure #	Individual Sub-area Pickup (ac.)	Individual Sub-area Runoff Factor	Time of Concentration Inlet Time Only	Intensity (in./hr.)	DIRECT FLOW Q=CIA Flow (cfs)	UPSTREAM FLOW (cfs)	TOTAL REQUIRED FLOW (cfs)	LOCATION "CURB", OR "YARD"	Q=CA(2gh)^0.5					
									Orifice COEF. C	Open Area (sf)	HEAD ON GRATE "H" (ft)	SINGLE STRUCTURE INLET CAPACITY (cfs)	# OF STRUCTURES	TOTAL INLET CAPACITY (cfs)
13	0.40	0.62	10	10.80	2.68	0.00	2.68	YARD	0.60	1.10	0.27	2.75	1	2.75
2	0.72	0.71	10	10.80	5.52	0.00	5.52	CURB	0.60	1.20	0.23	2.77	2	5.54

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## **APPENDIX 4**

### **STORMWATER MANAGEMENT SYSTEM MAINTENANCE PLAN**

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**STORMWATER MANAGEMENT SYSTEM MAINTENANCE PLAN  
FOR  
MEYER SUBDIVISION, LIBERTYVILLE, ILLINOIS**

**PURPOSE AND OBJECTIVE**

The stormwater management facilities have been designed to prevent damage to property and to minimize the impact on the environment. The only way to keep the system operating as designed is with proper maintenance. Maintenance items can typically be broken down into short-term and long-term maintenance tasks but all tasks should be conducted on an as-needed basis if necessary.

Short Term Maintenance Program – Significant Elements and Aspects provided as an attachment hereto. Please note that the attachment is not intended to cover all possible maintenance issues, only those most common.

Long Term Maintenance Program – Significant elements and aspects are provided as an attachment hereto. The maintenance is supplemented by repair as required or replacement as the case may be, depending on the wear and tear of the components of the drainage system. Please note that the attachment is not intended to cover all possible maintenance issues, only those most common.

The Final Engineering for the project shall illustrate all stormwater management areas including detention ponds, storm sewer system, and deed restricted areas.

**RESPONSIBILITIES**

Adequate provisions for Short Term and Long Term Maintenance are an essential aspect for continued proper operation of the stormwater management system.

Responsibility for the short and long term overall maintenance of the stormwater management system is put on the property owner or Home Owners Association (HOA) as applicable. Responsibility for the maintenance of the stormwater management system shall include the pipes, outlet control structure and other structures within the stormwater management outlot areas. Responsibility for both the short and long-range maintenance of the grassy surface areas (including native vegetation) within the outlots designated for stormwater management shall be the specific responsibility of the property owner or HOA as applicable.

**MAINTENANCE OF DRAINAGE SYSTEM**

Cleaning and repairing culverts, outflow pipes, inlets, catch basins and manholes are particularly important because these elements are not visually obvious, as are the surface area elements. If these subsurface elements become clogged, then water may flood the pavement surface and may cause extensive erosion damage or water flow blockage. Cleaning of culverts, outflow pipes, inlets, catch basins and manholes must be made a routine maintenance activity scheduled for several times a year and on an as needed basis. Cleaning and repairing of overland flow routes and swales is important to preserve surface drainage and protect the subdivision from flooding. Experience will show the required cleaning frequencies for specific drainage items.

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**Cost Considerations:** Maintenance and replacement needs and costs should be part of the economic analysis. All maintenance costs will be covered by a maintenance budget sustained by the property owner. Keep records of all maintenance costs in order to determine typical annual costs that would be the basis for the annual maintenance fund. Frequent maintenance program work execution will lead to less frequent and less costly long term maintenance and repair, possibly requiring replacement. The attached short term and long term maintenance provisions may need to be adjusted based on experience recorded over the initial period of occupancy.

**Surface/Subsurface Drainage:** As previously mentioned, cleaning and repairing overland flow routes, swales, culverts, outflow pipes, inlets, catch basins, drain tile connection structures, and manholes is particularly important because flooding is likely if they are obstructed. Frequent walk-through inspections should be conducted to see if any obstructions are present including garbage, wood, branches, cut grass, dirt, leaves, etc. Remember that these drainage structures were placed there for a reason and they can only operate as designed if they are properly maintained.

**Detention Basin Earth Embankment:** Berms shall be repaired if signs of settlement, erosion, piping (leakage, seepage, or wet spots appear. A Registered Professional Engineer shall be hired for design resolution of any breaks in the berm. Walk the top of berm, side slopes, downstream toe and upstream toe or at the waterline of the embankment concentrating on surface erosion, seepage, cracks, settlements, slumps, slides and animal burrow.

**Surface Erosion:** Removal or loss of vegetative cover can cause the formation of deep ruts or gullies in the embankment. These areas should be filled, compacted, and reseeded. Erosion control measures should be implemented while vegetation is being reestablished.

**Seepage:** The passage of water through and/or underneath the earth embankment abutment and natural groundline or at the contact between the embankment and outlet works can be indicated by cattails or other wet environmental vegetation, erosion channelization, or slumping on the embankment face.

**Cracks:** Deep cracks usually indicate the movement of the dam and/or the foundation and can be either the longitudinal (along the length of the embankment) or transverse (across the embankment) directions. Cracking can be an indicator of slumps. Shallow cracks may develop during the summer when the surface soils of the embankment become severely dried and are typically of no concern in regard to the safety of the embankment.

**Settlement:** Settlement is indicated by depressions or low spots and can be signs of consolidation of the embankment or foundation or the loss of material beneath the settlement area.

**Slumps/Slides:** Slow or sudden movements of the earth embankment slope on either face toward the toe of the embankment. If seepage indicates the presence of soil particles, or if deep cracks, settlement, slumps, or slides are noticed, a qualified engineer should be contacted immediately for consultation.

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**Animal Burrows:** Animal burrows result in a loss of earth embankment material and can provide seepage paths for water through the embankment. Burrows should be promptly repaired and vegetation reestablished.

**Vegetation:** The design plans call for the embankment to be covered with native vegetation. The native vegetation cover should be a thick and vigorous growth to stabilize embankment soils and prevent erosion from occurring. There should be no trees on the earth embankment and none within a minimum of 20-feet of the embankment toes or concrete structures. There should be no trees in the emergency spillway. Any woody vegetation (trees, brush) found should be promptly removed.

**Outlet Structure:** The pond outlet control structure shall be checked for any debris or other obstructions which may block or restrict the free flow of water. Check for the development of any rusty areas on the concrete, and seepage, cracking, breaking, or spalling of the concrete.

The detention basin shall be re-graded if any reduction in volume shall occur. In the case of a wet bottom pond the sediment bottom shall be dredged out every 5 years or when 50 percent of the volume has been lost.

**Vegetative Growth:** One of the most common maintenance problems is that of dying vegetation. The responsible party shall determine the cause of problem and correct it either by modifying the environment so the selected vegetation can grow or changing the type of vegetation planted to meet environmental requirements. For example, turf grass often dies in the bottoms of swales and ditches because the environment is too wet. These areas can be planted with wet-tolerant native vegetation that grow well in that type of environment and require little, if any, care.

Portions of the site have been planted with native vegetation. Native vegetation is an important part of the stormwater management system. Many native species have deep roots that help prevent erosion and also remove nutrients and other impurities from the stormwater runoff helping to minimize impacts to surface waters including streams, rivers and lakes. Native vegetation is not like turf grass and should be maintained as follows:

- Do not mow frequently. Mowing should be conducted either in early spring to control invasive vegetation before the desired native species are growing, or in the fall after native vegetation has flowered and gone to seed. **DO NOT MOW NATIVE VEGETATION WHILE IT IS FLOWERING.**
- Consider use of periodic controlled burns to help maintain the health of the native vegetation. It is recommended not to attempt controlled burns without professional assistance.
- Fertilizer and pesticide usage is normally NOT required.
- Always re-seed or re-plant using the same mix as originally permitted. A copy of the native seed or plant mix should be attached to this maintenance plan.

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### **RECORD KEEPING**

Separate and distinct records shall be maintained by the owner or HOA, to record the specific activities and costs thereof for the Short Term and Long Term Maintenance Plan implementation. The records shall include the dates of maintenance inspections and the specific work performed. The records can be used to document maintenance history and as a basis for annual budgeting.

### **CONCLUSION**

The stormwater management plan for this development was designed to convey stormwater runoff without damage to structures or the environment. The only way the stormwater management system can operate as designed is if it is maintained properly over time. Failure to properly maintain the system can result in flooding, poor aesthetics, increased pest populations and poor water quality leaving the site.

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## Long Term Maintenance Program – Significant Elements and Aspects<sup>1</sup>

<b>Stormwater Conveyance Elements</b>	<b>Periodic Inspections</b>	<b>Significant Aspects</b>	<b>Repair Work</b>
Grassy areas – Swales, Other Erosion Prone Areas	Annually	Erosion	Seed or Sod, Ditch Checks to reduce flow velocities or plant native vegetation
Grassy areas – Periphery	Annually, 5 year intervals	Erosion	Groom Seed
Tree Trimming	5 year intervals	Prescribed Management	Cut back
Native Vegetation Areas	2 to 3 year intervals	Prescribed Management	Controlled Burn
At Culvert and Swales Outfalls, Detention Ponds	5 year intervals	Flooding, Erosion	Remove Siltation, Re-seed, Restore Riprap
Outlet Control Structure Pipes	5 year intervals	Flooding, Erosion	Restore/Replace Inflow & Outflow Openings
Storm Structures, and Pond Outlet Control Structure	As needed basis	Decrease storm sewer capacity	Remove blockage, Repair as needed
Detention Basin Berms	Annually	Surface Erosion Seepage Cracks Settlement Slumps/Slides Animal Burrows Piping (Leakage) Vegetation	See prescribed maintenance for “Detention Basin Earth Embankments” listed above on pages 2-3.
Detention Basins	5 year intervals 5 year intervals	Detention Volume Sediment Volume	Re-grade Basin as required Dredge Basin Bottom
Drain Tile Connection Structures	Annually	Check for blockage	Clean out accordingly, Repair as needed

<sup>1</sup> Long range maintenance activities are those required that are typically conducted every several years. The maintenance intervals stated are typical but all are on an as-needed basis as well. This list is to be used as an example only and is not intended to be all inclusive.

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**Short Term Maintenance Program – Significant Elements and Aspects<sup>2</sup>**

<b>Stormwater Conveyance Elements</b>	<b>Periodic Inspection</b>	<b>Significant Aspects</b>	<b>Repair Work</b>
General – All Areas	March through November	Disturbed surface areas	Seed Area with grass or native vegetation Mulch to Protect
Residential Lot Areas	Weekly	Floatable Items that could wash into stormwater system	Dispose of Refuse Store Useable Items
Swales on site	March & June & October	Branches & Leaves/Trash	Collect & Dispose
Culverts under Roads	March through November	Branches & Leaves/Trash Pipe Condition	Collect & Dispose Repair/Replace
Emergency Outflow Structure/Weir	March through November	Branches & Leaves/Trash Pipe or Weir Condition	Collect & Dispose Repair/Replace
Manholes	March & June & October	Branches & Leaves/Trash Manhole Condition	Collect & Dispose Repair/Replace
Stormwater Storage Area	March, June, July, Aug., Sept., Oct., & Nov.	Mow non-native vegetation	Remove/Dispose Refuse/Grass clippings
Roadway Drainage System	Public Works Department	Standard procedure	Prescribed Process

Source: Modified Sample Maintenance Plan from Lake County Stormwater Management Commission.

<sup>2</sup> Maintenance of Grassy Areas shall require application of fertilizer and related treatment to assure substantial grass growth and avoidance of soil erosion of barren or sparsely grassed soil surface areas. The prescribed periodic inspections for the short term maintenance program are to be supplemented by additional inspections and maintenance work on an as-needed basis such as at times following periods of substantial rainfall or storm activities, such as high winds.

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